



"Village with a Past, City with a Future"

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January 22, 2010

Judith E. Bittner
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Department of Natural Resources
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RE: CITY OF KENAI – ANNUAL SURVEY

Dear Ms. Bittner:

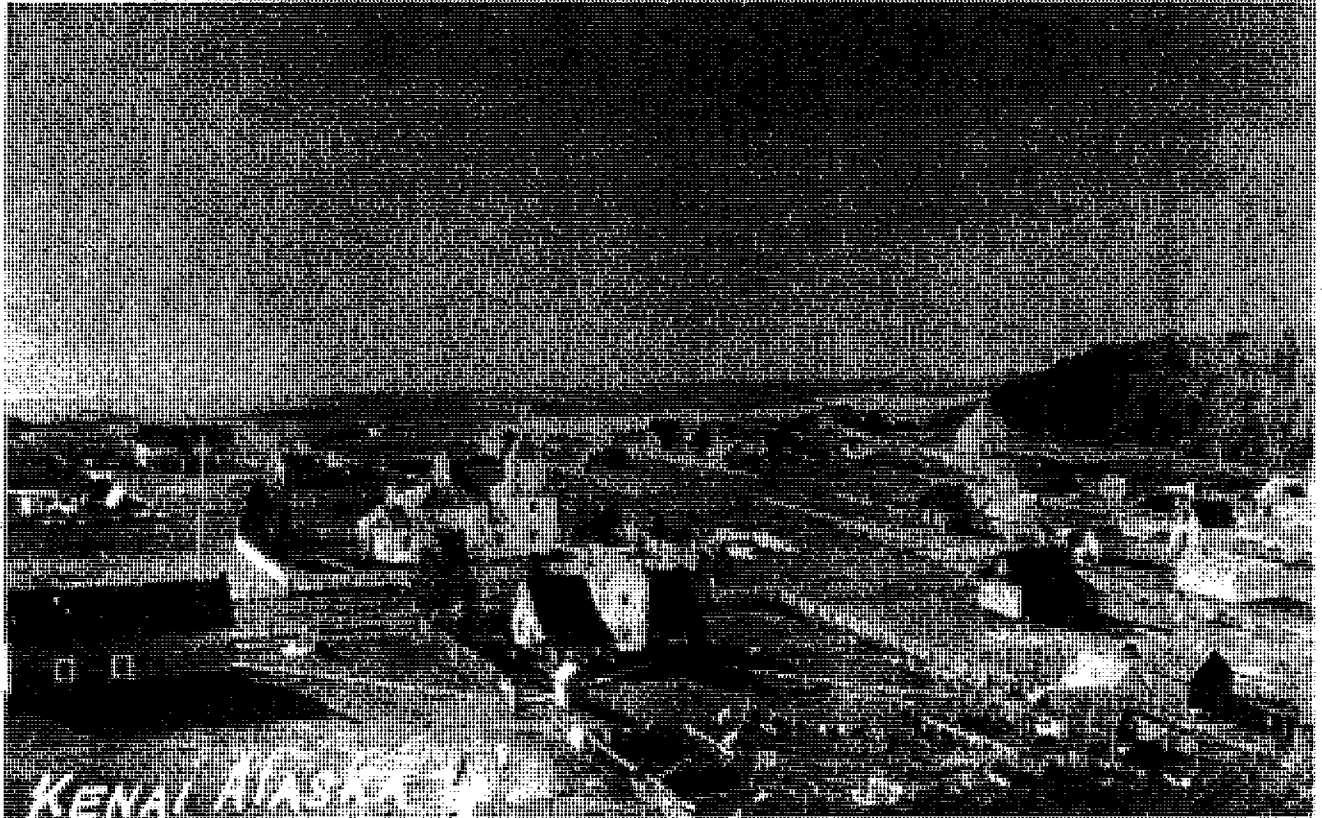
The property information contained in the "Kenai Townsite Historic District Survey Report" was reviewed as required under the Kenai Municipal Code. The City's code requires that the survey be updated annually. During 2009, five properties contained in the survey were relocated to 816 Cook Avenue. The properties are as follows:

- Relocated from 1104 Mission Avenue:
 - KEN-265 – Arness Cabin
 - KEN266 – 3 Scandinavians Cabin
 - KEN267 – Sanders Cabin "Cabin 3"
 - KEN-268 – Miller Cabin
- Relocated from 814 Riverview Avenue:
 - KEN-278 – Dolchok/Juliussen Cabin

These changes have been documented in the survey. If further information is needed, don't hesitate to contact me.

Sincerely,

Marilyn K. Kebschull, AICP
Planner, City of Kenai

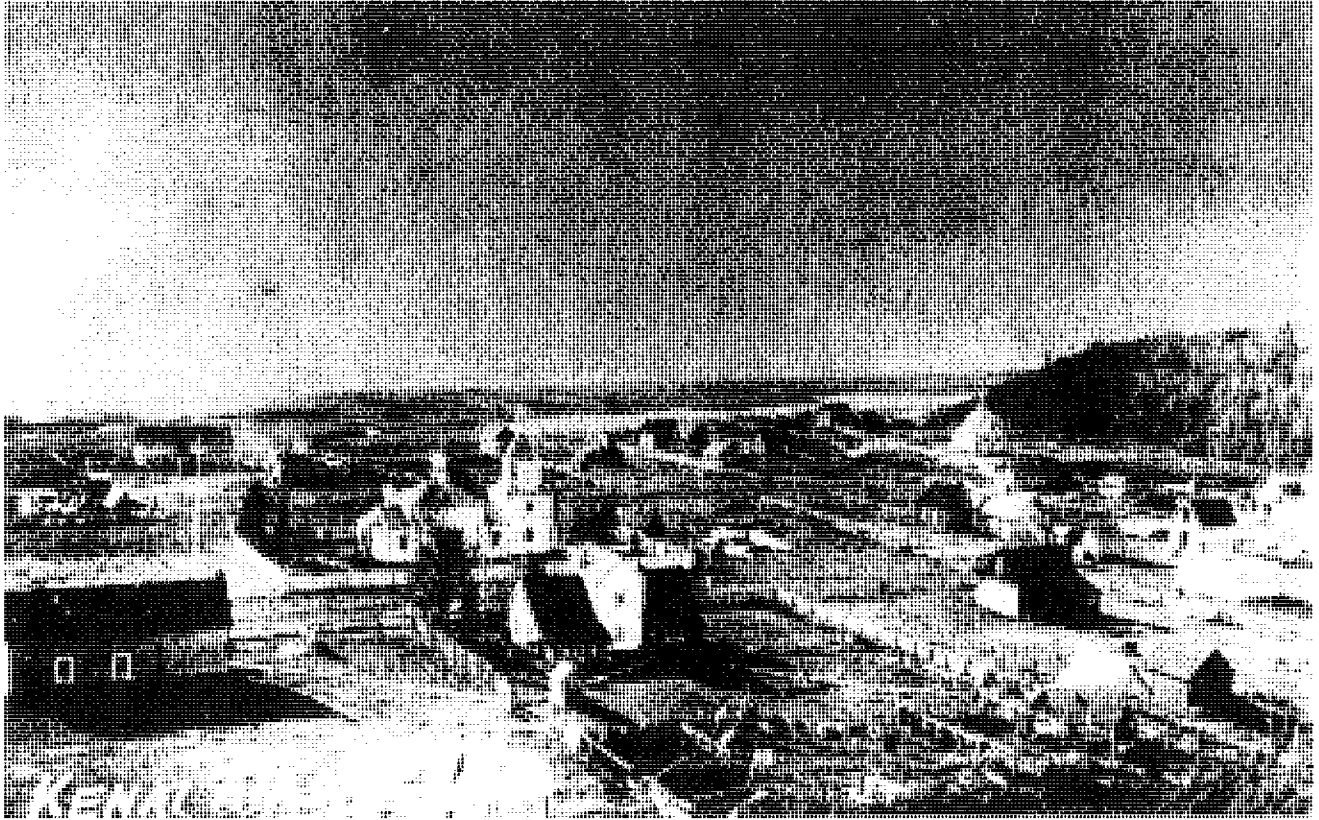


Kenai, Alaska, 1919. Photo courtesy Peggy Arness.

**KENAI TOWNSITE HISTORIC DISTRICT
SURVEY REPORT**

Prepared for the
City of Kenai

by
Preservation North,
Sylvia H. Elliott and Donna Lane
July 1996



Kenai, Alaska, 1919. Photo courtesy Peggy Arness.

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ABSTRACT

This report is a documentation and evaluation of the thirty-four properties of the Kenai Townsite Historic District (KTHD), established by the City of Kenai in 1993. Information on ten properties adjacent to the District's boundaries is also included. The field survey portion of the Report was conducted in August and September 1995. The purpose of the Survey was an evaluation of the KTHD properties (using the criteria of the National Register of Historic Places) to provide the City of Kenai with the baseline information necessary for historic preservation planning.

ACKNOWLEDGMENTS

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SECTION I: INTRODUCTION

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Background

The logo for the City of Kenai -- an offshore oil drilling platform beside the Chapel of Saint Nicholas and the words "Village with a Past, City with a Future" -- describes a city proud of its heritage as it looks ahead to the future. Nowhere is Kenai's evolution from subsistence village to modern city more striking than in the original townsite area, commonly known as Old Town. Here, a nineteenth century Russian Orthodox Church and Rectory, a 1906 Russian Orthodox chapel, and several small c1912-1918 homes are juxtaposed with massive rectilinear apartment buildings constructed in the late 1960s.

The cluster of buildings and structures surrounding the Russian Orthodox Church provides Kenai residents and visitors with a sense of what Kenai was like during its early years as a subsistence village. Most of the cabins and houses that formerly defined the original Townsite area have long since disappeared, however, and the foot paths and garden patches that once surrounded these buildings have been replaced by paved roads, multi-unit apartment buildings and RV Parks.

That any of early Townsite properties have survived at all is due to the considerable effort and dedication of a few individuals, the Kenai Historical Society, and the Kenai Townsite Historic Board. Their efforts have included the stabilization of four small c.1920 cabins moved onto the "Fort Kenay" compound; replacement of the bridge (Meek's Crossing) on a footpath that winds down the bluff from the original townsite to Cook Inlet below; restoration of the Holy Assumption of the Virgin Mary (Russian) Orthodox Church (1896) and restoration of the Chapel of Saint Nicholas (1906).

Preservation of a larger portion of the Townsite area has been problematic, however, because the City of Kenai lacked specific documentation on properties believed to be historically significant. Until recently, this hindered the City in creating a long-range preservation plan, implementing zoning regulations, or using the design-review process to protect historic areas from incompatible new construction.

Purpose of the Survey

In 1991 the City of Kenai appointed an Townsite Historic Board, one of the first steps towards formulating an historic preservation plan for the townsite area. One of the recommendations of the Board was that Kenai apply for status as a Certified Local Government (CLG). The CLG program, administered by the State Office of History and Archaeology (OHA), is designed to provide "technical assistance and training to local governments actively engaged in designing a plan to protect their community's historic resources" (*The Certified Local Government Historic Preservation Plan in Alaska: 1994*). City and borough governments pursuing CLG designation are eligible for matching grants from the federal Historic Preservation Fund (HPF). The City of Kenai became a CLG in February 1995.

Another Board recommendation was that the City establish a local historic district. One of the intended purposes of this district was to regulate the appearance of new construction and alterations to existing properties located near the Russian Orthodox Church. The City of Kenai established the Kenai Townsite Historic District (KTHD) in 1993.

As the recipient of a 1995 CLG grant, the City of Kenai contracted with an historian and an architect (Preservation North) to survey the buildings, structures, objects, and sites within the boundaries of the KTHD. One of the primary objectives of this survey was to provide the City with the necessary baseline information about the historic significance of each property, in order to provide a general focus for future preservation planning efforts. This information can then be used "to protect the Old Town area 'from development inconsistent with its historic nature' " (*The Clarion*: 6-11-93).

Scope of the Survey

The City of Kenai established the boundaries of the Kenai Townsite Historic District based on the recommendations of the Townsite Historic Board, the City Council, the OHA, and the testimony of area residents. The current boundaries are a scaled-back version of the ones originally recommended by the Townsite Historic Board. The City Council changed the north and east boundaries of the District in response to protests from several property owners who indicated that they did not want their properties included in an historic district.

The KTHD is bounded on the north by the wooded area between the Russian Orthodox Cemetery, the Spur Highway, and Overland RV Park; on the east by the east side of Upland Street; on the south by Cook Inlet; and on the west by the wooded ravine (sometimes referred to as Porcupine Gully) behind the Chapel of Saint Nicholas,

immediately east of Spruce Drive. A map of the Kenai Townsite Historic District (Fig. 1) is found on page four.

Properties evaluated within the KTHD include one site and thirty-three buildings (with associated outbuildings). These properties were assigned numbers from 1 through 34, used to identify them in the tables and maps throughout the Survey Report.

The City of Kenai also requested that the Contractor evaluate ten additional properties adjacent to the east and north boundaries of the District. These properties were assigned the letters A through K (the letter "I" was not used, however, as it too closely resembles a "1").

The Contractor examined only property exteriors and did not assess the structural integrity of the properties other than "good, fair, or poor." Mechanical systems of buildings were not evaluated.

The Kenai Townsite Historic District Survey evaluated only buildings, structures, and an historic cemetery. No archaeological testing was performed by the Contractor. References to archaeological significance are based solely on the Contractor's consultation with OHA archeologists and the data contained in a 1979 archaeological survey (on file at the OHA).

Methodology

Prior to field work, historic themes illustrated by the District properties were identified and information for the historic narrative collected. Sources of information included a review of literature and review of the National Landmark nomination for the Russian Orthodox Church property; examination of the Kenai Townsite records and U.S. Census figures at the National Archives, Alaska Region; examination of reports and maps on file at the OHA; consultation with the OHA historian, architectural historian and archaeologists; interviews with persons knowledgeable about the history of the buildings in the Townsite District; and comparison of historic photographs with contemporary photographs. Research continued through the field work and writing stages of the project as more information was located.

Before field work could begin, it was necessary to assemble a list of properties, property addresses, and property owners. The Contractor accomplished this by cross-referencing borough platting charts with city maps. The accuracy of the list was confirmed by driving and walking through the District several times, comparing existing buildings and structures with those shown on the circa 1980 platting

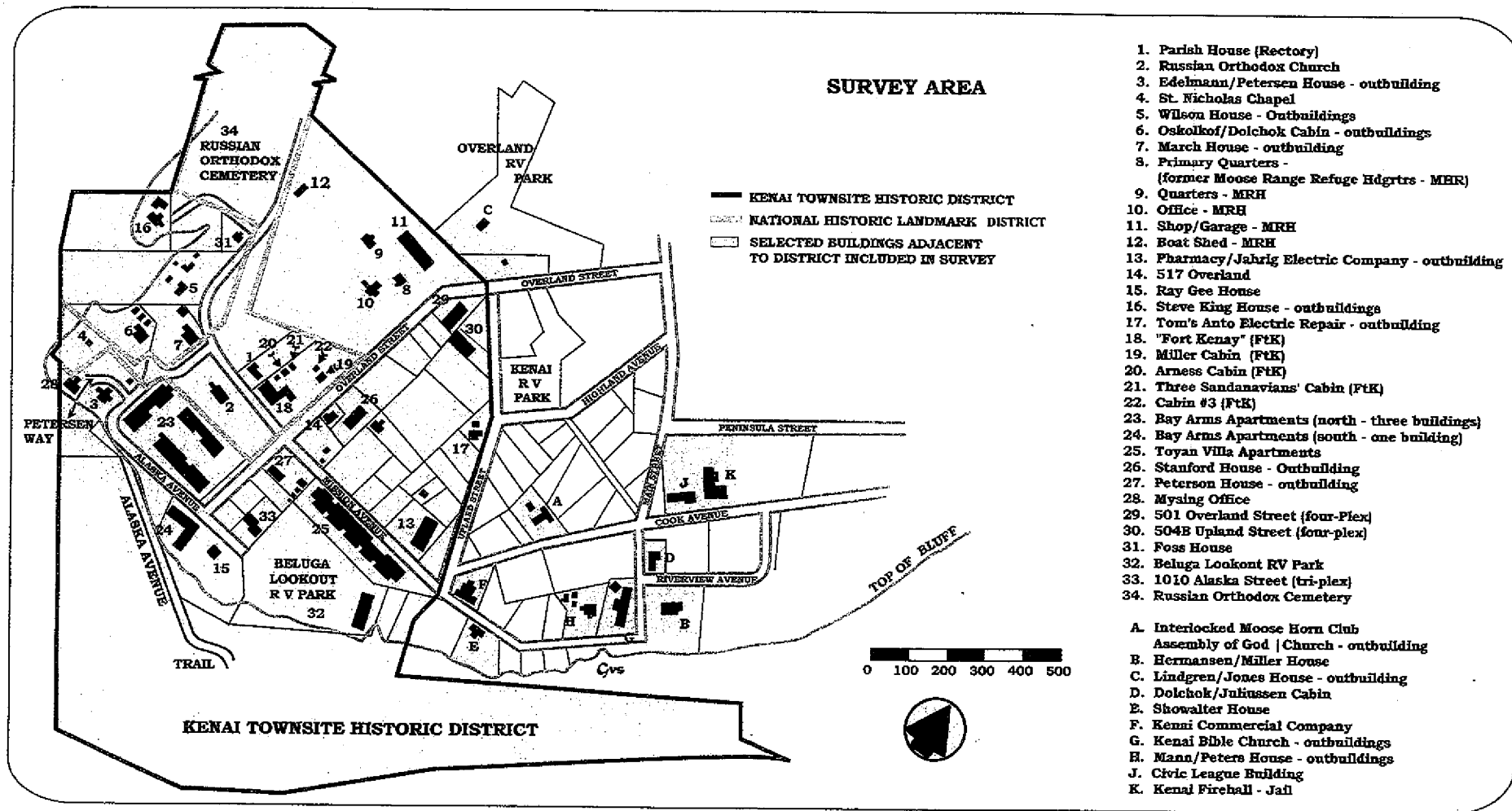


Figure 1. Survey Area Map

map. After the information was confirmed, the Contractor created a current map of the KTHD.

Each property was photographed using Kodak TMax 400 and 100 speed black and white 35 mm film. Color snapshots were also taken of the properties. Information collected on each property during the field portion of the Survey was noted on a recordation form created specifically for the KTHD Survey (Fig. 2). The completed forms are on file with the City of Kenai.

The Contractor used the criteria of the National Register of Historic Places to evaluate the Survey properties. The decision to use National Register criteria was based on the objectivity, uniformity, and comprehensiveness of these standards, in addition to their nationally-recognized applicability and acceptance. Because one of the purposes of the Kenai Townsite Historic District Survey was to determine if the locally-designated Historic District might also qualify as a National Register District, use of National Register criteria was essential for accurate assessment of the Survey properties. The National Register criteria are:

Criterion A: Properties associated with events that have made a significant contribution to the broad patterns of history

Criterion B: Properties associated with the lives of persons significant in our past

Criterion C: Properties that embody distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values or that represent a significant and distinguishable entity whose components may lack individual distinction

Criterion D: Properties that have yielded, or are likely to yield, information important in prehistory or history

Properties were also evaluated for historic integrity. As defined by the National Register, "historic integrity is the authenticity of a property's historic identity, evidenced by the survival of physical characteristic that existed during the property's prehistoric or historic period." (National Register Bulletin 16A) Seven qualities comprise a property's historic integrity. These are: location, design, setting, materials, workmanship, feeling, and association. An explanation of how the properties in the KTHD were evaluated according to the four criteria and seven qualities is found in Section V. Evaluation.

PRESERVATION NORTH
Field Survey Form for

Kenai Townsite Historic District

Date: _____

Historic Name _____ Date of Construction _____
Common Name _____ Orig. Use _____
Address _____ Present Use _____
Block, Lot _____ Condition _____
Owner _____ Architect _____
address _____ Builder _____
phone _____ Style/Type _____
USGS Map Quad _____ AHRS # _____

Shape and Dimensions of Building:

Landscape Features:

Associated Structures (type, locations, dates):

Construction Materials:

Foundation:

Framing:

Siding:

Roofing (include type):

Floor Structure:

Roof Structure:

Site Description:

Site ____ Building ____ Structure ____ Contrib ____ Non-Contrib ____

Figure 2. Field Survey Form, Kenai Townsite Historic District Survey.

Sketch:

Exterior Features of Note:
Facade:

Left Elevation:

Right Elevation:

Back Elevation:

Facade faces to the _____

Significance (historical/arch. importance, dates, persons, events):

Alterations & Dates:

Moved? ___date___ reason _____
original setting:

Sources of information:

Other pertinent information (any special interior features etc):

Compiler _____ Additional pages _____

Organization

The Kenai Townsite Historic District Survey report is organized into eight sections:

Section I. Introduction

Includes the background, purpose, scope, methodology and definition of terms used in the Survey Report.

Section II. Historic Context

Provides an historical overview of construction in the Survey area, beginning with Dena'ina building traditions, subsequent Russian and American building traditions of the late nineteenth and early twentieth century, and the events which shaped the development of Kenai's built environment through 1995. Historic photographs are included in this section. The focus of Section II is to provide a context by which to understand the history of the building traditions of the Kenai area. The Historic Context is not intended as a comprehensive history of Kenai or the Kenai Peninsula.

Section III. Property Types

Explains the different types of properties within the Survey area: Residential and Other (Commercial, Government, Social).

Section IV. Property Data

Provides a short history/basic description of each building in the Survey area along with tables, maps, historic photographs and current photographs. Properties in this section are arranged by historic themes and general (non-historic) categories.

Section V. Evaluation

Evaluates the District properties for National Register eligibility and explains how the National Register criteria was applied.

Section VI. Recommendations

Offers suggestions for preservation planning in the District based on the findings of the KTHD Survey.

Section VII. Alaska Heritage Resources Survey

Alaska Heritage Resources Survey (AHRS) Map and Tables. AHRS cards for the Survey area are on file with the State Office of History and Archaeology.

Section VIII. Bibliography

The information sources used in preparing the Survey Report

Definition of Terms

The / mark between names of a property denotes that the property has at one time been known by each name, usually the original owner and a subsequent long-term owner. Example: "Edelmann/Petersen House" describes the property located at 608 Petersen Way. The house was built in 1896 by Edvin Edelmann, but has been known as the Petersen House since the mid 1950s when it was purchased by Alan and Jettie Petersen.

building: "a construction created principally to shelter any form of human activity" (*National Register Bulletin 16A*).

c: circa, an approximate date

City: City of Kenai

compatible: used to denote properties within the KTHD that, although not historic, are not intrusive; they approximate the scale, design (massing) and building materials of the historic properties in the District, and are not visually jarring when they adjoin an historic property.

Contractor: the preparer of the Kenai Townsite Historic District Survey Report, Preservation North.

contributing property: "a contributing building, structure or site adds to the historic associations and historic architectural qualities" of the historic properties within the District (*Ibid*). A contributing property must retain its historic integrity and meet the National Register criteria for significance.

Dena'ina, as used in this report, refers to the ancestors of the present day Kenaitze. An alternate spelling used by some sources is Tanaina.

district: "a significant concentration, linkage, or continuity of sites, buildings, structures, or objects united historically or aesthetically by plan or physical development" (*Ibid*). When capitalized, it is the abbreviation for the Kenai Townsite Historic District.

Fort Kenay (without quotation marks): refers to the U.S. fort constructed on/near the Russian Fort Saint Nicholas, and occupied by the U.S. military from 1869 to 1870. Some sources use the spelling Fort Kenai. Both of these spellings are used in the Survey Report, depending on the source quoted.

"Fort Kenay" (with quotation marks): denotes the log building constructed in 1967 on the corner of Overland and Mission Streets to commemorate Fort Kenay for Kenai's Centennial celebration of the Alaska Purchase.

Gvs: these initials appear near the bottom right on each map in the Survey Report. They are the initials of the person who formatted the maps.

integrity: "the authenticity of a property's historic identity, evidenced by the survival of physical characteristics that existed during the property's historic period" (Ibid).

KTHD: Kenai Townsite Historic District

Kenai Agricultural Experimental Station, Kenai National Moose Range Headquarters, and Kenai National Wildlife Refuge Headquarters all refer to the federal government property located at 502 Overland Street.

N/A: not applicable

non-contributing property: "a building, structure or site that does not add to the historic significance of the [District]" (Ibid).

Old Town: a common name for the property recently designated as the Kenai Townsite Historic District.

Parish House: the Rectory of the Holy Assumption of the Virgin Mary Russian Orthodox Church.

property/properties: refers to the individual buildings, structures and sites in the District. As defined by the National Register: "an area of land containing a single historic resource or a group of resources, and constituting a single entry in the National Register of Historic Places" (Ibid).

structure: "a functional construction made usually for purposes other than creating human shelter" (Ibid).

SECTION II: HISTORIC CONTEXT

SECTION II: HISTORIC CONTEXT

Introduction

The prehistory and recorded history of the area currently designated as the Kenai Townsite Historic District is multi-layered and diverse, spanning some 10,000 years, and encompassing a succession of population groups and institutions. For purposes of interpreting the KTHD, discussion of this history will focus primarily on the events and conditions that have shaped the built environment of the Townsite area.

The context for the history of Kenai's building traditions is represented by six historic themes and two broad (non-historic) categories. Unfortunately, structures and buildings from three of the District's historic themes are no longer extant. Examination of the history of these properties is crucial, however, in order to understand their influence on later generations.

The historic themes of the Kenai Townsite Historic District are:

- Dena'ina Building Tradition: A.D. 1000-1890
- Russian Exploration and Fur Trade: 1741-1866
- The Russian Orthodox Church: 1841-1906
(extant properties, 1881-1906)
- United States Purchase of Alaska, 1867: Fort Kenay, 1869-1870
- Early Community Building Era: 1898-1925
- Kenaitze Subsistence: 1900-1941
- Federal Programs for Agriculture and Sustainable
Resource Management: 1898-1958 (extant properties, 1935-1958)

Two general categories represent Survey properties constructed after 1945:

- Post-War Community Growth: 1948-1958
- Post-Statehood Development: 1959-1996

In addition to the themes and categories, information on Commercial Salmon Canneries; Kenai Population Growth, 1860-1890; and Climate, Vegetation, Wildlife and Geography is also provided in this Section. Detailed information on the KTHD buildings mentioned in the Historic Context can be found in Section IV, Property Data.

Climate, Vegetation, Wildlife, and Geography

The Kenai Peninsula (Fig. 3), bounded on the east by the Gulf of Alaska and on the west by Cook Inlet, has a temperate climate. It does not experience the extreme winter temperatures common to much of Alaska, but instead ranges between 4° to 27°, and in summer between 40° to 62° (Kenai Visitors & Convention Bureau). The average rainfall is 20.5 inches, and snowfall 68.5 inches.

Classified as a bottomland spruce/popular forest region, the area surrounding the city of Kenai has historically maintained a thick cover of white spruce, black spruce, balsam poplar, black cottonwood, Alaska Paper Birch, alder, and willow, in addition to a lush understory of wild rose, Labrador Tea, mushrooms, berries, and many other native plants (Selkregg: 1974). This region supports many different species of birds, fish, fur-bearing mammals, and marine mammals. Prior to European contact in the eighteenth century, the Kenai Peninsula teemed with wildlife, while the amount and variety of vegetation fluctuated according to natural burn and insect infestation cycles. These cycles in turn affected the number and varieties of birds and furbearing mammals.

For many centuries, access to the Kenai Peninsula was limited to the sea and to narrow overland trails (or by walking the shoreland at low tide). Maritime travel provided the only means of supply for Fort Saint Nicholas and Fort Kenay. Prior to that time, the Dena'ina used bidarkas and a system of overland trails to travel to the villages north and south of Kenai. Following the U.S. purchase of Alaska, and through the first two decades of the early twentieth century (before the advent of air travel), traders and settlers reached Kenai by ship, and continued their travel overland by foot, dogsled, and pack horse on narrow peninsula trails.

The Historic Townsite area sits on a bluff facing south, near the confluence of the Kenai River and Cook Inlet. From the period of Dena'ina occupation through the Kenaitze Subsistence Era, village residents walked down paths from the bluff to the beach below to fish and haul water. The bluff area is primarily grassland, and the west boundary of the Townsite ends abruptly in a steep gully.

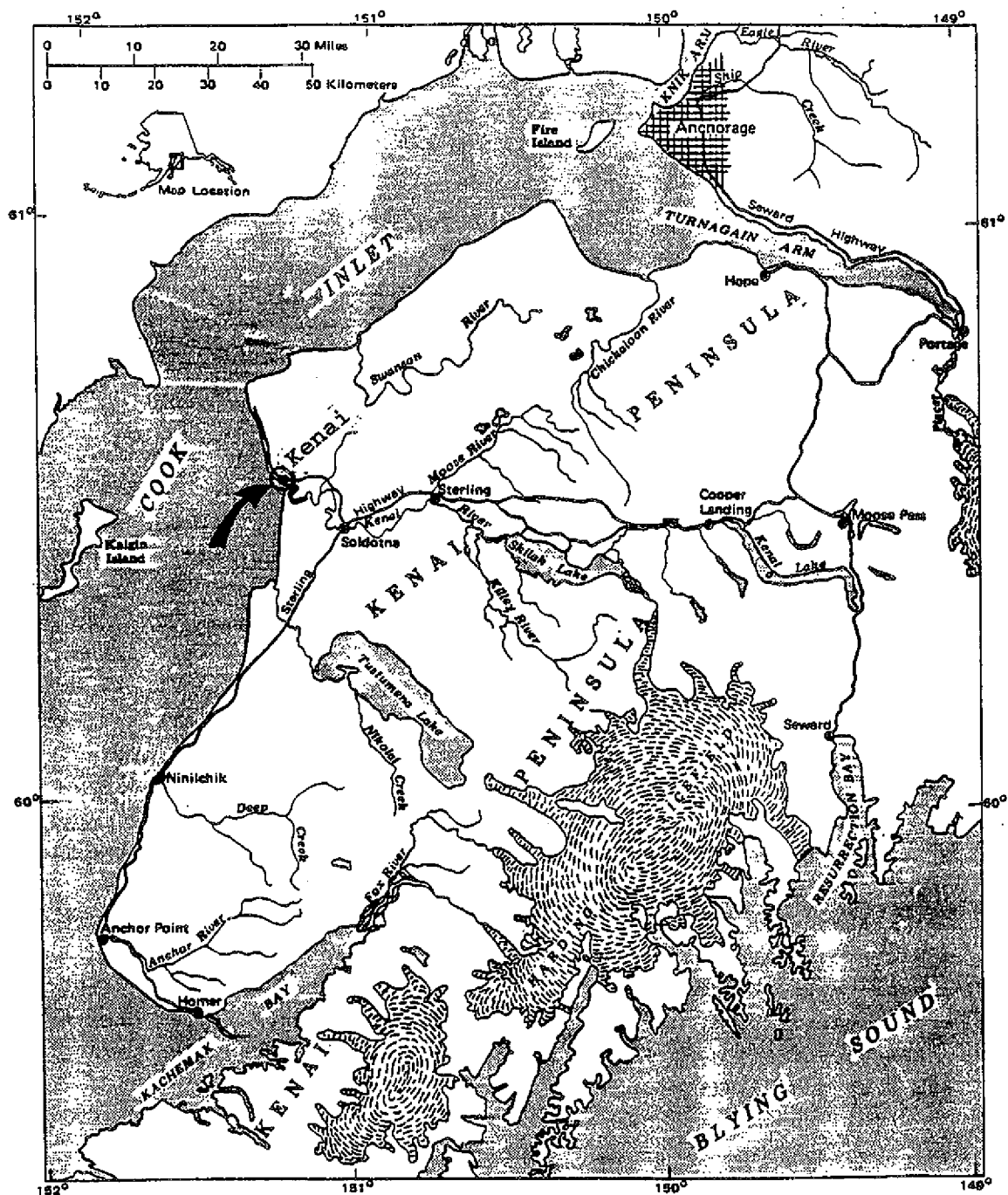


Figure 3. City of Kenai, Alaska, on the west side, north portion of the Kenai Peninsula. Files, State of Alaska, Office of History and Archaeology.

Dena'ina Building Traditions: A.D. 1000 to 1890

"The record shows that the first people occupied the [Kenai] area about 8,000 B.C. Between 1000 B.C. and A.D. 1000, the Riverine Kachemak people occupied the Kenai River drainage. The Dena'ina (translation: *The People*) an Athabaskan culture, displaced the Riverine Kachemak people approximately A.D. 1000" (City of Kenai: 3-14-96).

The Dena'ina thrived for many centuries on the Kenai Peninsula hunting moose, caribou, bear, and Beluga Whale, and trapping smaller mammals such as beaver, weasel, squirrel, and muskrat. The Kenai River provided an abundant supply of salmon and smelt, and the nearby flats and woodlands supplied spruce grouse and other birds. The Dena'ina were also nourished by the ample amount of sea plants and invertebrates they gathered from the intertidal zone. Food that was plentiful during the spring, summer, and fall was dried on racks or buried in below-ground caches for the winter months.

The nineteenth century journals and letters of European explorers provide descriptions of the buildings constructed by the Dena'ina:

The dwellings in this region [the Kenai Peninsula] represent a combination of the standard houses built of wood used by the Southern Indians and then they are covered with sod like those of the Eskimo. [The entrance to] the bath-house is a [small] round opening through which a man can crawl with difficulty (Mishler: 1985, 36).

These houses were well adapted to Kenai's maritime climate, their roofs fashioned from mounded earth, used for its excellent insulating properties (Fig. 4).

Dena'ina homes also had

a work space for drying salmon in rainy weather. Around [a] central building at right angles to its sides [were] erected from two to six huts about one and one-half meters high, that served as sleeping and living quarters for individual families. [These huts were] covered with earth (Mishler: 1985, 36).

During the summer and early fall, the Dena'ina lived in buildings constructed for the hunting and fishing camps. Sometimes these seasonal homess stood side by side on adjoining sites (Ibid, 37). The winter dwelling was a semi-subterranean *nichil*, an excavation two to three feet deep with spruce poles at the corners. Logs were then stacked between the poles to form the walls of the *nichil*, and the roof fashioned of birch bark or spruce bark (Fig. 5) (Walk in the Footprints of Time: nd). Steam baths (*nelis*) were incorporated into

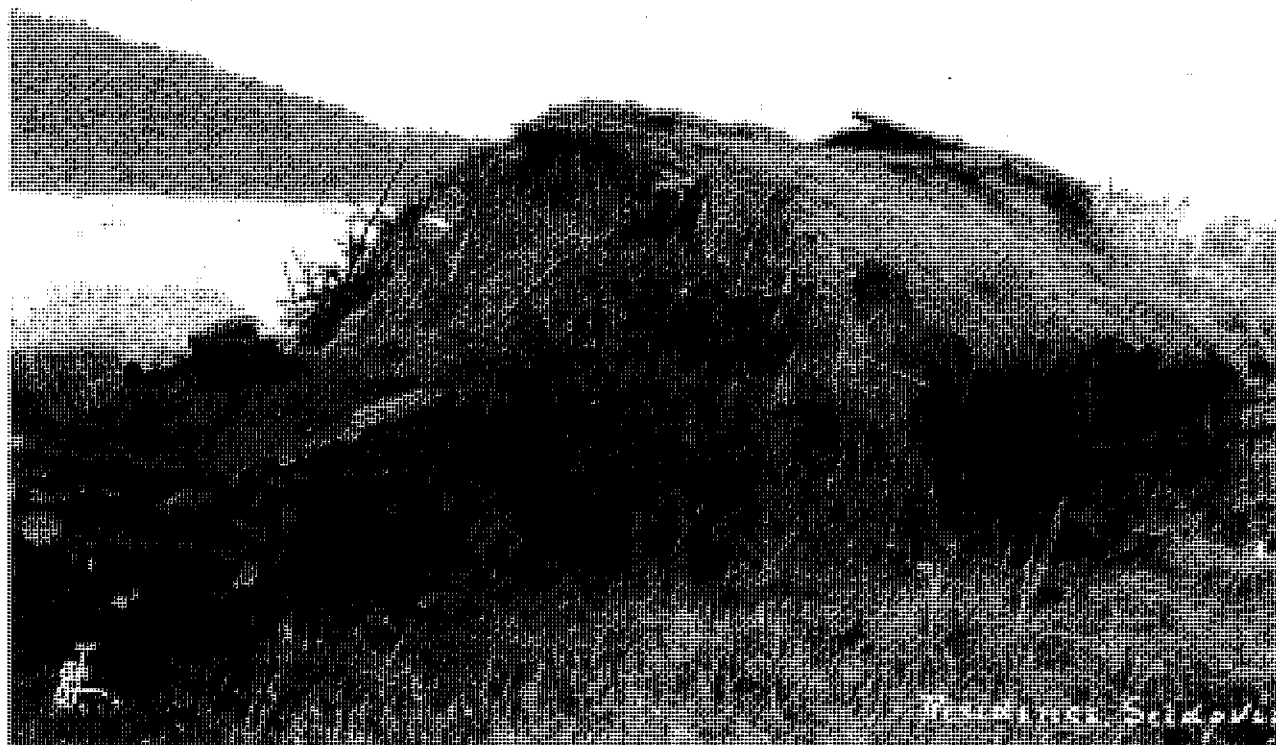


Figure 4. Residence, Seldovia (aboriginal house, probably Tanaina).
Alvin Wheatley Collection, B82-52-227. Courtesy of the Anchorage
Museum of History and Art.

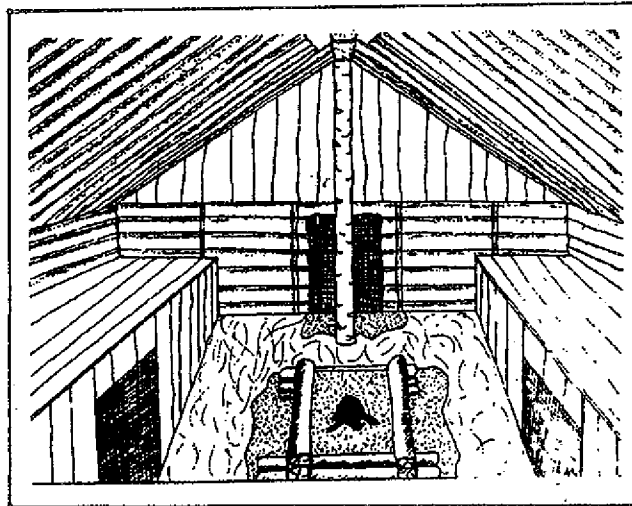


Figure 5. Nichil, interior. from
"Walk in the Footprints of Time,"
drawing by Bunny Swan.

both ends of the house, heated with hot rocks dropped into baskets of water (Ibid). Food storage pits were located away from the houses, dug to a depth of five to six feet deep and lined with moss and birch bark (Ibid). Layers of fish and fish eggs were then alternated with layers of moss and birch (Ibid).

Although archaeologists have unearthed the remains of Dena'ina houses and pit caches at a number of sites near the mouth of the Kenai River (and at other sites on the Kenai Peninsula), they have recovered relatively few prehistoric artifacts. This absence has been attributed to the cosmology of the Dena'ina, which dictated that all natural resources be returned to the earth or sea from which they originated. The Dena'ina accomplished this by burning their refuse (Boraas: 1990, 6).

Traditional building forms of the early Dena'ina were still in evidence in early nineteenth century Kenai, such as the one that Baron von Wrangell described just prior to 1833:

[The main building is a] lofty roomy barrack constructed from wooden beams, with fireplaces in the center and partitions around the sides, where related families live, with two or more bath-houses attached to the ends, where they spend a large part of their winter (Mishler: 1985, 35).

A later description of Skilak Village in 1870 by the explorer Ivan Petrov also illustrates the building tradition of the Dena'ina (Fig. 5). Petrov recounted that the Skilak Dena'ina lived in cabins of

. . . scribe-fitted logs scooped out on the lower side so as to fit tightly onto the round top of the one below. [The] flooring [consisted of] rudely-hewn planks, and windows of fish bladders stretched over small square frames. These houses [would be] quite comfortable, if it were not for their low ceiling. I could not stand up in any of them. In the winter the Indians heat up cobblestones in a fire outside and then carry them into the house, closing the doors and windows, and thus secure warmth for quite awhile (Ibid, 36).



Figure 6. "Tanaina Village, Alaska 1890." Eleventh Census of the United States.

Russian Exploration, Military Settlements, and the Fur Trade: 1741 to 1867

The explorer Vitus Bering, on a reconnaissance voyage financed by the Russian government, sighted the Alaska mainland in 1741. The English explorer, Captain James Cook, however, was the first European to sail and map the body of water (Cook Inlet) that separates the Kenai Peninsula from mainland Alaska (1791). Bering, Cook, and subsequent European explorers all described a seemingly limitless supply of sea otters in these waters. Based on this information, privately-financed Russian trading companies began commercial fur trading operations in the land they called Russian America, trading the highly valued sea otter pelts with the Chinese (Boraas: 1995, 3).

Two early Russian fur trading companies were the Shelikov-Golikov Company, located in Kodiak and managed by Aleksandr Barinov, and the Lebedev-Lastochkin Company located in Kenai, managed by Grigor Konovalov and Amos Balushin. The fur trade in Russian America operated by the fur trading companies forcing the Aleut and Dena'ina to hunt the sea otters. The Lebedev-Lastochkin Company routinely beat, and sometimes executed the Dena'ina, in addition to holding women and children hostage until the men brought back their quota of pelts for the Company (Boraas: 1995, 4,10). The Shelikov-Golikov Company generally obtained their sea otter pelts through trade with Dena'ina hunting chiefs (Qeshqa) for metal, cloth, and beads (Ibid, 13). The Qeshqa in turn had other Dena'ina who did the actual hunting for them.

The Lebedev-Lastochkin Company ceased operation in 1797, and two years later the Russian government granted the Shelikov-Golikov Company (reorganized under the name of The Russian-American Company) a monopoly on the fur trade in Russian-America (Ibid; Antonson and Hanable: 1985, 151).

During the late eighteenth and early nineteenth centuries, the Russian fur trading companies established a chain of trading settlements and military outposts (*redoubts*) in Alaska. These sites stretched from Norton Sound in Western Alaska (Fort Saint Michael, 1833) south along Bristol Bay (New Alexandrovsk, 1819) and the Aleutian Islands (Unalaska, 1770s); continued east to Kodiak Island (Three Saints Bay, 1784; Saint Paul, 1792), north to the Kenai Peninsula, and ended on Alaska's southeast coast: Fort Saints Constantine and Helen (1793), Yakutat (1795-1805), Sitka (1799-1802; 1804), and Fort Saint Dionysius in Wrangell (1833-1840) (Antonson and Hanable: 1985,122).

Five redoubts were located on the Kenai Peninsula: Resurrection Harbor (1792), Alexsandrovsk (1786-1819), Ninilchik (1845), Fort Saint George (1787), and Fort Saint Nicholas (Nikolaevsk Redoubt, 1791). Another important Russian site on the Kenai Peninsula was Coal Village, near present-day Port Graham on Kachemak Bay. The

Russian-American Company began mining coal here in 1855, extracting approximately "30 to 35 tons daily, . . . [and] at the peak of operation Coal Village was the third largest Russian settlement in Alaska" (Ibid, 149).

A typical outpost in Russian-America consisted of

several log buildings surrounded by walls of upright posts. . . . structures generally included one or two blockhouses, individual dwellings for officials, barracks for workers, storerooms, and special buildings such as blacksmith shops. At some forts there were Russian Orthodox churches or chapels (Ibid, 121-122).

Nikolaevsk Redoubt, built by the Lebedev-Lastochkin Company in 1791 near the mouth of the Kenai River (Fig. 7)

was approximately 120 square yards, surrounded by a paling about twelve feet high. Thirty-six Russians occupied two main buildings, a large hall which served as a dormitory and mess hall, and a small house for the commander. [In addition there were] at least twenty other small huts used for storing supplies, for teaching Indians the Russian language and religion, and [buildings which served as] residences for the Indians (Mishler: 1985, 18).

A brick factory, constructed in 1841, was also an important part of Nikolaevsk Redoubt (Dilliplane: 1981, 5). Although buildings in Russian America were constructed "primarily [of] wood and . . . [no] major emphasis was put on brick [buildings], bricks were, never-the-less, needed for chimneys, ovens, and building foundations" (Ibid, 7).

Nikolaevsk Redoubt was chosen as a site for brick making operations because the materials needed, "timber, clay, sand, and water, were [all] nearby" (Ibid). Bricks made here were shipped to other settlements in Russian America such as New Archangel. Operations at Nikolaevsk expanded when the brick kilns at Fort Ross (California) and Redoubt Saint Dionysius (southeast Alaska) closed. In 1851, the governor of Russian-America requested that brick production at Nikolaevsk Redoubt meet a quota of 12,000 to 15,000 bricks annually (Ibid, 12). By 1865, the annual number of bricks produced had risen to 30,000 (Ibid). Dena'ina conscripted by the manager of the Redoubt supplied labor for the brick factory.

Although there are no properties in Kenai that remain from the period of Russian Exploration and Fur Trade, one home owner states that the bricks in the chimney of his home were manufactured at the Nikolaevsk brick kiln (Tomrdle: 1995).

The Russian Orthodox Church: 1841 to 1906

Soon after the first redoubts were established in Russian America, the Russian Orthodox Church (the official religion of Russia), at the invitation of Gregorii Shelikov, sent Orthodox priests to minister to the Russian fur traders and convert the Native people. The Russian-American Company built the first Russian Orthodox chapel on the Peninsula at Kenai in 1841. For the next four years, a company official led the worship services (Victoria: 1974, 58). In 1845, the Russian Orthodox Church created a permanent parish for the Kenai region, with Kenai as the center, and the chapel became a church, overseen by Father Igumen Nicolai Militov (Boraas: 1990, 16). The boundaries of the parish incorporated areas beyond Kenai, and extended "north as far as Knik, south as far as the tip of the Peninsula, and east as far as present day Valdez" - (Victoria: 1974, 57). In 1849, the Igumen oversaw the construction of a new church building in Kenai, The Dormition of Assumption of the Mother of God Church, "situated inside the palisades [of Fort St. Nicholas] at the northwest corner" (Ibid, 59).

In addition to regularly traveling to all the villages within the Kenai parish, Father Nicolai also taught school in his home (the Church) until his death in 1867. Thirty-nine years later (1906), the descendants of Father Nicolai's parishioners built a chapel in his honor, constructed over his grave and the grave of his assistant, Makar Ivanof . The Chapel of Saint Nicholas still stands, and is sited 395 feet west of the present day Holy Assumption of the Virgin Mary Orthodox Church, near the west boundary of the Kenai Townsite Historic District. The Chapel (built where the 1849 Dormition of Assumption Russian Orthodox Church used to stand) "provides the only physical clue to the location of Kenai's first white settlement" (Kizzia: 12-18-91, A-7).

Makar Ivanof, whose father was Russian and mother Dena'ina, played a significant role in the history of the Russian Orthodox Church in Kenai. In addition to vaccinating the residents of all the Dena'ina villages within the Kenai parish for smallpox, Ivanof performed the duties of a priest after Father Nicolai's death in 1868, until his own death in 1878. Ivanof's son, Alexis, became the Church song leader in 1893 (Ibid).

The Russian Orthodox Church exerted a profound influence upon the people living on the Kenai peninsula. The church in Kenai was "the center for the Russian Orthodox mission on Cook Inlet, the residence of the missionary, . . . a distribution center for books and periodicals sent from Russia, the place where records (of births, deaths, marriages and population statistics) were kept, and in time had the best school in the area" (Ibid, 60). Villagers were buried in the Russian Orthodox Cemetery just northwest of the Church.

In 1881, parishioners constructed a two-story log cabin as a residence for the parish priest. The **Parish House (Rectory)** was subsequently sided with weatherboard to resemble a wood frame building. By 1882 the Dormition of Assumption of the Mother of God Church was in poor condition, and lacked a "stove, bell tower, and ornaments" (Victoria: 1974, 63). The following year the Church was remodeled, and received "a new wood-tiled roof and a new floor" (Bortnovskii: 1898, 2). In addition, "the walls were covered with calico and the iconostasis were repaired" (Ibid).

In 1893, the forty-four year old Church was judged beyond repair, and construction of a new church began, the **Holy Assumption of the Virgin Mary Russian Orthodox Church**. Construction was financed with four-hundred dollars from the Holy Synod in St. Petersburg, and supervised by Father A. Yroshevich (Ibid, 3). The new wood-timber Church (Fig. 8), "enclosed by a proper wooden fence," was completed in 1895 (Ibid). It had two rooms, a sacristy and an archive/supply room, and could accommodate eighty parishioners (Ibid).

The Church and Rectory, in continuous use for over one-hundred years, were listed with Saint Nicholas Chapel and the Russian Orthodox Cemetery as National Historic Landmarks in 1970. The three buildings retain their original siting, near the center of the present-day Kenai Townsite Historic District.

Although the Russian Orthodox Church continued to function as a positive influence in the lives of many Kenai residents, its presence diminished somewhat when it lost the sponsorship of the Russian-American Company, after Russian-America was sold to the United States (Victoria: 1974, 66-67). The Church in Russia, however, continued to support the Alaska Mission until 1917.

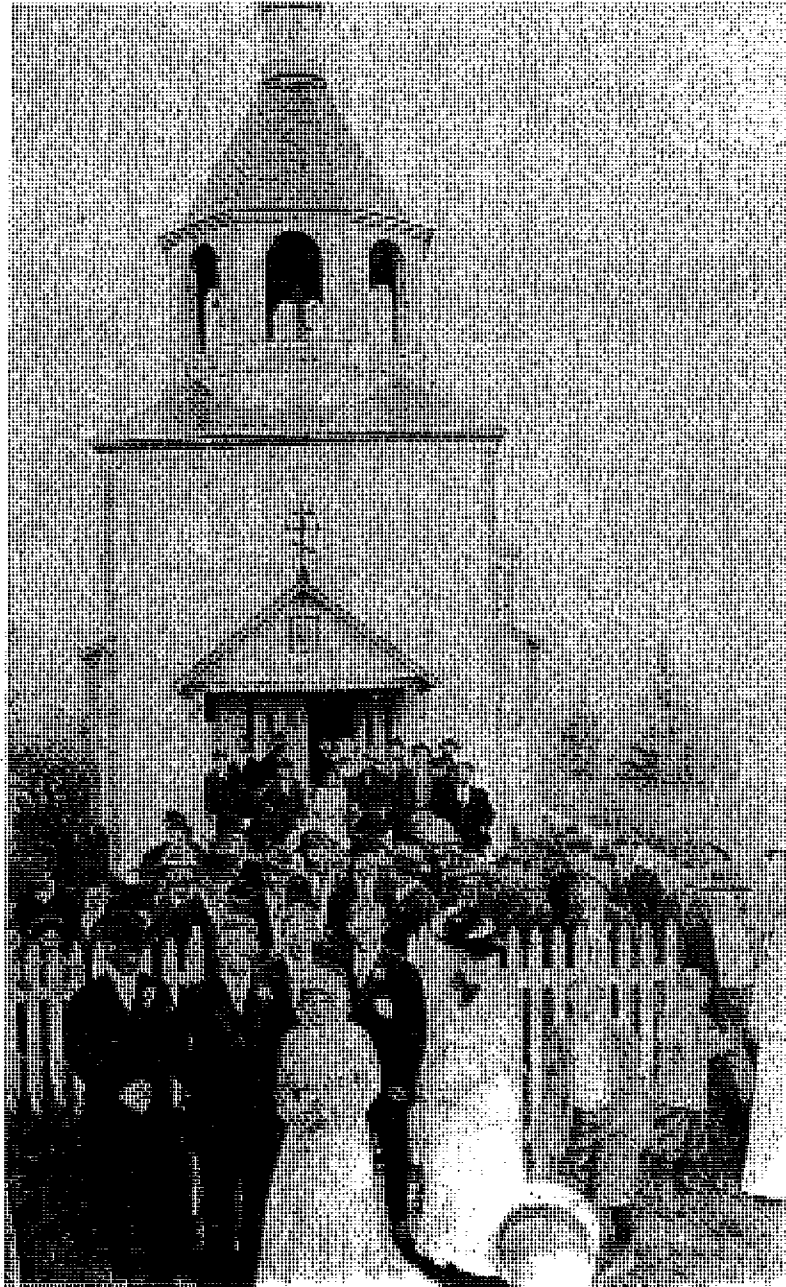


Figure 8. Postcard, wedding at the Holy Assumption of the Virgin Mary Russian Orthodox Church, c1918. Simonson Collection, B91-9-97. Courtesy of the Anchorage Museum of History and Art.

**The United States Purchase of Russian-America, 1867:
Fort Kenay, 1869-1870**

By 1860, the once lucrative fur trade had ceased to be profitable for the Russian-American Company, and had decimated Alaska's sea otter population. The cost of maintaining and supplying outposts in Russian-America now outweighed any possible profit, and in 1867 the Russian government sold all of its territory in Russian-America to the United States for \$7,200,000. At the time of the sale, Nikolaevsk Redoubt consisted of

a timber house for the commander of the post; a timber building for the men; two timber storehouses; Blockhouse No. 1 constructed of timber and armed with four-pounder iron guns, one six-pounder cannonade, and two one-and-a-half-pounder falconets (Malach: 1964, 39).

An American company, Hutchison-Kohl, purchased the assets of the Russian-American Company at Kenai, and began operations as a trading and supply company for the people living at the former Russian outpost.

With the transfer of ownership, the federal government classified Alaska as Indian country and placed it under the authority of the U.S. Army. The Army was further directed to establish several strategically located outposts in Alaska for the purpose of "protecting American citizens and their property" (Buzzell: 1985, 54-55). One of the chosen locations was Kenai. Although troops were present at Sitka in 1867 at the time of the formal transfer ceremony, the U.S. military did not arrive in Kenai until 1869. This was due to the shipwreck of the *Torrent*, which was transporting Battery F of the 2nd U.S. Artillery (four officers, their families and 116 enlisted men) to Kenai in late July 1868. Everyone aboard survived the wreck, but since it was then too late in the season to establish the post at Kenai, Battery F wintered over in Kodiak (Malach: 1964, 68).

In April 1869, Battery F, under the command of Brevet Captain John McGilvray, arrived in Kenai. In a report dated April 19, 1869, Captain McGilvray described the buildings of Fort Saint Nicholas as "inadequate in number and unserviceable in condition" (McGilvray: 1869). McGilvray ordered construction to commence immediately on nine buildings of "timber hewn and unhewn":

a temporary stable for the public animals, a post bakehouse, a permanent barrack for the men, a blacksmith shop, an [officers] quarters building, a mens' sink, an ammunition storehouse, a permanent stable for public animals, and a guardhouse (Ibid).

Outhouses and a hospital were also built (Willems: 1974, 117). Construction of Fort Kenay (Fig. 9) proved difficult, as logs for the Fort had to be "hailed over a mile on very bad roads. Shingles and lumber for floors and roofs were shipped from Kodiak" (Malach: 1964, 68).

After only seventeen months at Kenai, Battery F was withdrawn from Alaska Territory and sent to Idaho because of the Indian wars there. In September 1870 Fort Kenay was officially abandoned, although some of the buildings continued to be occupied by

a small group of former American soldiers, several American merchants, two employees of the Hutchison-Kohl Company, and a number of . . . people living near the Post (primarily of Dena'ina/Russian descent) who made their living by catching and salting salmon (for shipment to San Francisco), cultivating ten to twelve acres of vegetables, and trading [with the Dena'ina] (Buzzell: 1985, 54-55).

There are no buildings (military or civilian) in present day Kenai that remain from the era of the Alaska Purchase and Fort Kenay.

Commercial Salmon Canneries

Although the Hutchison-Kohl Company (reorganized as the Alaska Commercial Company) continued the fur trade established by the Russians, the profits from this industry were soon eclipsed by the highly lucrative commercial salmon canneries. These canneries, which began operating in Alaska in 1878, shipped to markets in Seattle, Portland, and San Francisco (Antonson and Hanable: 1985, 439). The first cannery constructed in Kenai was the Northern Packing Company, (1888), followed by Pacific Packing (1897) and Libby, McNeil, and Libby (1912). Two of the buildings in the KTHD Survey area were originally cannery buildings: the Pharmacy/Jahrig Electric Company building (Northwestern) and the Kenai Commercial Company building (Alaska Packers).

Within two years after it opened, Northern Packing Company, which employed fifty white workers and eighty Chinese workers each season, was producing "from 15,000 to 20,000 cases of salmon annually" (Eleventh Census of the U.S., 1890: 70).

Commercial salmon fishery operations used barricades (outlawed in 1889), fish traps (banned in 1959), gill nets, drag seines, and floating (shipboard) canneries (Ibid: 440-441). The canneries provided summer work for many Kenai residents, although the canneries brought the majority of their workforce to Alaska each season from Mexico, China, Japan, and the Philippines (Ibid). Besides providing temporary employment, the cannery companies also brought winter

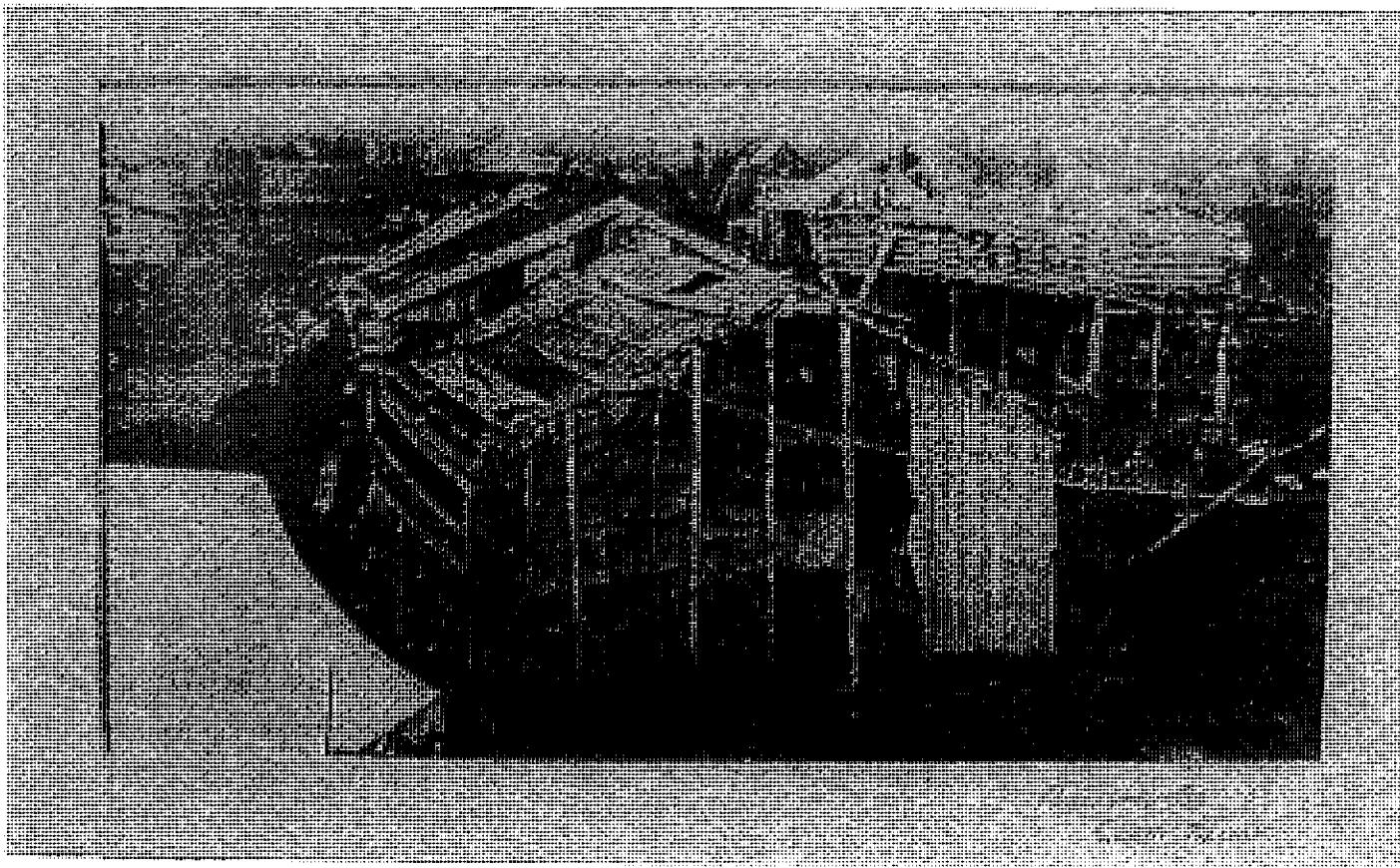


Figure 9. "A view of Fort Kenay on the site of Old Fort Saint Nicholas, c1869." National Archives photograph #111-SL-87815.

supplies to the people of Kenai. After the fall delivery, however, the cannery ships brought no further supplies until the following spring (Ford, Meeks and Meeks: 1995).

Salvaging wood from cannery fish traps soon became one of the building traditions in Kenai. Many of the properties constructed between 1890 and 1950 (such as the Jones/Lindgren house and the Arness cabin on Upland Street) utilized planks salvaged from traps. In the 1984 book Once Upon the Kenai, James V. Arness described the salvage process:

Each year, when the season was over, trap crews cut the wire off the planks, then the pile driver would pull the planks loose, letting them float away, then pull the piling and move the piling back to the cannery for use again the following year. Those planks were a source of building material for anyone who [could] salvage them before the pile driver crews cut them down. Common practice was for two people with a dory to cut the planks loose on both sides of every other piling, then pull the planks down, tie them together until a quantity were assembled, then tow [them] to the beach to be loaded on a truck or trailer and hauled home (Kenai Historical Society: 1984, 30).

Wood and tin salvaged from the 1890 shipwreck of the *Corea*, bound for Cook Inlet canneries, was also utilized by Kenai residents for building construction (City of Kenai: 1976). One example of this salvage may be the rusted tin roof on the garage of the March house, made of flattened five-gallon cans.

Kenai Population Growth: 1860-1890

In 1860, the Russian government conducted a census of the population in the "Kadiak Region [of Russian-America], embracing the territory lying between the North Pacific and the coast range of mountains to Chignik Bay in the Alaska Peninsula, and adjoining islands, including the Kadiak group" (Eleventh Census of the United States: 1890, x). The count placed the total population of forty settlements in Russian-America at 6,112 people, of which 557 were Russian, 4,486 Aleut, 931 Kenaitze, and 1,186 Creole (Ibid, 3).

The first U.S. Census of Alaska Territory was conducted in 1880. It reported only 124 people in the Kenai area: eighty-eight in five outlying villages, and forty-four in the village of Kenai (Gray: 1994). These figures reflect the widespread decimation of the Kenaitze from the smallpox, measles, and influenza epidemics that swept across the Kenai Peninsula during the previous decade (Ibid). By the time of the next U.S. Census in 1890, Kenai's population had risen slightly to 264, but this figure included 79 temporary cannery

workers: the actual population of the village was 185, an increase of only 61 people (Eleventh U.S. Census, 1890: 4).

Early Community Building Era: 1898 to 1925

During the early decades of the twentieth century, the village of Kenai grew slowly. The population figures for Kenai in 1900 compiled by the Twelfth U.S. Census list eighty-eight Russian and American residents (total) and sixty-eight Kenaitze. The nativity records (country of birth) show that a high proportion of the people not born in Alaska Territory or the U.S. emigrated from the Scandinavia (Table 1). Many of the log buildings constructed in Kenai during the early decades of the twentieth century had dovetail notching, typical of Sweden, Norway, and Finland.

<u>Country of Origin</u>	<u>Number</u> **
Alaska/U.S.	139
Denmark	1
Finland	2
France	3
Germany	1
Norway	1
Russia	3
Sweden	6
**Numbers do not include imported/ seasonal cannery workers	

Table 1. Nativity of Kenai Residents,
Twelfth U.S. Census, 1900.

Another portion of the Twelfth U.S. Census of 1900 recorded the occupation of each person in the village (Table 2). Of 156 residents, 101 were not employed or were children of school age. The remainder gave the following as their occupations:

<u>Number**</u>	<u>Occupation</u>
1	Chief of Tribe
1	clerk
1	housekeeper
29	hunting and fishing
18	laborer
2	priest
2	servant
1	Superintendent of Agricultural Experimental Station
** Numbers do not include imported/ seasonal cannery workers	

Table 2. Occupations of Kenai Residents,
Twelfth U.S. Census, 1900.

The Thirteenth U.S. Census in 1910 listed 86 temporary cannery workers and 275 year-round residents of Kenai City [sic].

By 1920, the total population of Kenai Village [sic] was 332. Figures of the Fourteenth U.S. Census were categorized by race, listing 196 Kenaitze, 41 Creole, and 95 white residents. Nativity (Table 3) included the following countries:

<u>Country of Origin</u>	<u>Number**</u>
Alaska Territory	273
Canada	2
Finland	6
Germany	1
Newfoundland	1
Norway	3
Philippines	3
Russia	4
Sweden	5
United States	8
**Numbers do not include imported/ seasonal cannery workers	

Table 3. Birthplace of Kenai Residents,
Fourteenth U.S. Census, 1920.

The types of occupations listed in the U.S. Census of 1920 were more diverse than twenty years previously. Of 332 residents, 127 were not employed or were children of school age. 107 were presumably cannery workers. The occupations of the remaining residents are shown in Table 4.

<u>Number</u>	<u>Occupation</u>
1	blacksmith helper
1	boss, pile driver
2	carpenter
1	cook
1	engineer
67	fisherman
10	labörer
3	merchant
1	midwife
2	miner
1	night watchman
1	poolroom proprietor
1	postmaster
1	priest
2	railway workers
1	rancher
1	sailor
1	shoemaker

Table 4. Occupations of Kenai Residents,
Fourteenth U.S. Census, 1920.

The Fifteenth U.S. Census in 1929 listed 286 Kenai residents.

Most of the homes of the Early Community Building Era were constructed around the Russian Orthodox Church, which served as the visual and spiritual anchor for the small community. Five of the residences from the Early Community Building Era remain in their original locations: the Edelman/Petersen House (1898), Wilson House (c.1912-1916), Oskolkof/Dolchok Cabin (1918), March House (1918), and Lindgren/Jones House (1918). Another, the Dolchok/Juliussen Cabin (1922), was re-located in the 1950s to a site outside the KTHD boundaries. Four other buildings -- the Miller Cabin (1910), Three Scandinavians' Cabin (c1918-1925), Cabin #3 (c1918-1925), and the Arness Cabin (1925) -- date from the Early Community Building Era, but were moved to their present location in the early 1970s.

The Northern Commercial Company, re-organized in 1901 from the Alaska Commercial Company (preceded by the Hutchison-Kohl Company and the original Russian-American Company), provided supplies for early Kenai residents. Another social/commercial operation that originated during this era was the **Interlocked Moose Horn Club** (c1900), constructed by Andrew Berg, a hunting guide, as a club for big-game hunters. This building, moved from its original location, is now located adjacent to the KTHD's east boundary.

Kenai's first post office opened in 1899, in the home of the Postmaster. The location of the post office changed every few years, whenever a new Postmaster was appointed. Mail reached Kenai via a ship that docked in Seldovia, and a postal carrier who hiked the beach from Homer. In summer the entire trip was made by boat (Kenai Historical Society: 1983, 407). Mail was also delivered on horseback and by dog team. Toward the end of the Early Community Building Era, mail began to arrive in Kenai by plane.

Two schools operated in Kenai during the Early Community Building Era. The Parish priest taught classes in catechism, Russian, Slavonic, music, arithmetic and music at the Russian School (c1900, located on the site of the present day "Fort Kenay" building) until 1921 (Kenai Historical Society: 1985, 395). Kenai's first U.S. Government public school, "a 1 and ½ story building measuring 56 by 22 feet," was constructed in 1907 at a cost of cost \$5,500 (Ibid, 395). Neither the Russian School or the American School are extant.

Although the automobile changed the nature of travel in many parts of the U.S. just after World War I, its impact on Kenai was slight until after World War II. As one writer observed, "Kenai [in the 1920s] was about as modern as a rural American town of the 1850s" (Petersen: 1983, 88).

Kenaitze Subsistence in Kenai Village: 1900 to 1941

Like the Russian fur traders that preceded them, the U.S. salmon processing companies operating in Alaskan waters gave little thought to responsible natural resource management. The salmon companies' lack of conservation measures had a disastrous effect on the subsistence lifestyle of the Kenaitze. Because of the excessive amount of salmon taken year after year by commercial fisheries, few salmon remained for the Kenaitze. An entry from the journal of a Russian Orthodox Priest, Father Bortnovsky, near the end of the nineteenth century, observed that

the quantity of fish grows smaller each year. And no wonder: each cannery annually ships out 30,000 to 40,000 cases of fish. During the summer all fishing grounds are jammed with American fishermen and, of course, the poor Indian is forced to keep away in order to avoid unpleasant meetings . . . (Victoria: 1974, 69-70).

In addition to the depleted salmon runs, the subsistence lifeway of the Kenaitze was eroded by the demise of the fur trade. Prices paid for pelts plummeted near the turn of the century. Father Bortnovsky described in his journal the factors that influenced this situation:

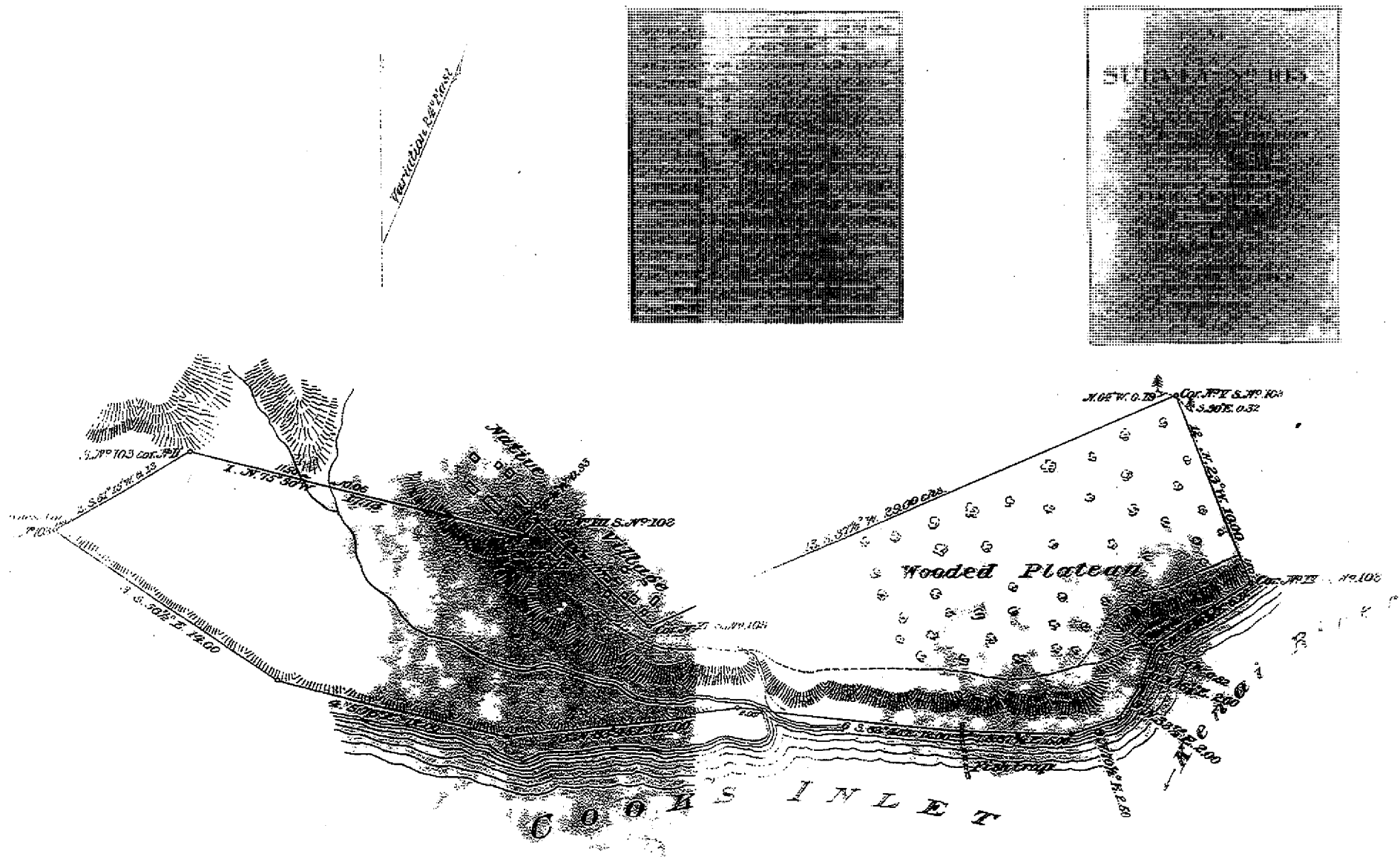
The Kenai Indians . . . at present are experiencing many hardships. [Their] means of existence are being exhausted more and more each year. The hunting grows poorer. Frequent forest fires caused by American prospectors either exterminate the animals or drive them to safer places. The latter [condition] would not have caused too much hardship, [as] the Kenai Indian is accustomed to roaming in the mountains and on the tundras; he can reach the animals anywhere and catch them. But, unfortunately, another scourge fell on [the Kenaitze] and completely depressed them: the fur prices fell terribly. For instance, a black bear skin of the best quality now brings only \$10, whereas a few years ago it was priced at \$30 - \$40 or more (Ibid).

In 1900, the U.S. Census reported only 156 Kenai residents, the population still severely weakened from the epidemics of the previous century. This figure included the survivors from seven nearby Kenaitze villages that were abandoned. Two of these villages were Shk'ituk't and Chernilia, whose combined population in 1880 was 58 (Mishler: 306-307). By 1910, a Russian priest had moved the remaining residents from all of the outlying Kenaitze villages into Kenai (Ibid).

The area of Kenai where the Kenaitze relocated eventually came to be known as Old Town (Fig. 10):

The main part of the settlement was clustered around the Russian Orthodox Church and bounded by the bluffs overlooking the river. The small houses were connected by footpaths, there were no roads (Fig. 11) (Pedersen: 1983, 15).

Clare Swan, a Kenaitze who grew up in Kenai during the 1930s described the Old Town neighborhood "as a quiet place with wild flowers and picket fences, and children riding toboggans into the gully in the winter" (Kizzia: 12-21-91). She remembers it as a place of "gardens, clotheslines, and raspberry bushes, where everyone looked after each other" (Swan: 8-22-95).



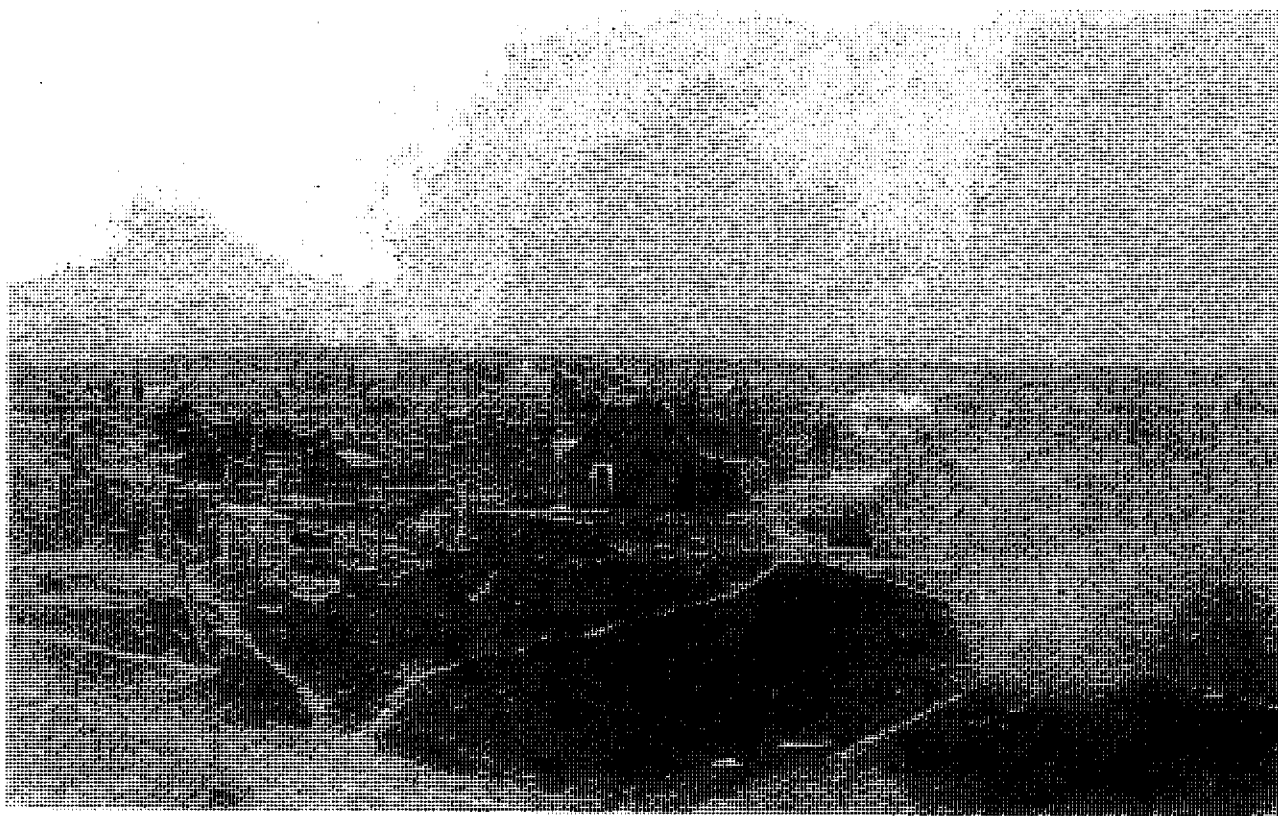


Figure 11. Village of Kenai, c1900. Note pathways connecting houses.
Photo courtesy of Peggy Arness.

Despite their mutual support of each other, and the spiritual anchor provided by the Russian Orthodox Church, life was difficult for the Kenaitze. One author described their situation as

unable to return to their traditional ways, [the Kenaitze] were dependent on the salmon industry and its brief fishing season. Because they could not afford fishing boats, the two choices open to them were set-net fishing or working in the canneries. Summer earnings seldom lasted until the next season, and most of the Kenaitze became heavily in debt to the canneries (Pedersen: 1983).

Another account of Kenaitze subsistence in the early twentieth century by Fiocla Wilson, a life-long resident of Kenai, describes the constant preparation necessary for winter:

The only way to earn any money was by fishing commercially, mostly on beach sites, and by trapping in the winter. Dried, smoked, and salted salmon ranked high on the people's diet. They shot ducks and geese on the Kenai River flats, and moose as well. Every household had a food cache outdoors where meat could be kept frozen, along with Hair Seal meat and a barrel of seal oil. The women gathered berries, and lowbush cranberries were a favorite, for they could be kept in a keg of water in the cellar where they wouldn't freeze or spoil, and were used all through the winter (Pedersen: 1983, 15).

The homes constructed during this era were quite small by today's standards, because "in the early days [of Kenai], heating was [a] problem. Use of a wood stove for heating required that houses be small, for adequate warmth. Therefore, [the layout] of many cabins consisted of only one main room and a sleeping loft" (Pedersen: 1983, 77).

The Bureau of Indian Affairs (BIA) Census Records from 1934 and 1939 provide basic information on both the residents and the dwellings that characterized the subsistence lifeway of Kenai Village. The records list: head of household, age and occupation, yearly income, wife (yes/no), number of children, other adults and/or children living in the home, and the general health of occupants. They also indicate the size of each building (how many rooms), construction materials, and the building's condition. Based on the information contained in the 1934 BIA census, the following is known:

The number of Kenaitze living in the original Townsite area in 1934 was 131. Of this figure, twenty-two men listed their occupation as fisherman. The remaining heads-of-households were: carpenter/fisherman (1), carpenter (1), and cannery worker (2). 105 residents

were unemployed (including women and children). The average yearly income was \$309.

Twenty-eight dwellings housed the 131 residents. Eighteen of the buildings were wood frame, seven were cabins, and three were tents. Seven of the homes had only one room, ten had two rooms, and four had three rooms (the number of rooms in the remaining seven homes was unknown). The average number of occupants per house was between four and six, but one household listed eleven people in a three-room house.

Roofing material used for the twenty-eight buildings was listed in the Census records as shingle (13) and tarpaper (12). The remaining three dwellings were tents. The condition of the homes were: good (3), fair (9), poor (13), and unknown (three tents).

Three buildings recorded in the 1934 BIA Census are still standing, two in the Kenai Townsite Historic District, and one just outside the District's boundaries.

One of these buildings was the home of Mike Dolchok (Dolchok/Juliussen Cabin, c1922), who made his living as a fisherman, with an average yearly income of \$600. He and his wife had five children. At the time of the Census, the two-room cabin had a shingle roof and four windows, and was described as in fair condition. ~~The building was moved~~ approximately five blocks from its original location in the 1950s.

John Oskolkof's cabin (Oskolkof/Dolchok Cabin, c1918) had a shingle roof and wood floor, and the building's general condition was noted as "fair." Oskolkof, a fisherman with an average yearly income of \$500, was seventy years old at the time of the Census, and no other family members were listed in his household. The building has been modified since 1934, but remains in its original location.

Paul Wilson's house (Wilson House, c1912-1916) was listed in fair condition in 1934. The log house had a shingle roof, four windows, and three rooms. Wilson, sixty years old, was a fisherman, and his wife was deceased. In addition to Wilson and his five children, the household also included George Peterson and his wife and their three children. The home has been altered in the intervening years, but remains in its original location.

These are the only properties in the Survey area that can be directly associated with the historic theme *Kenaitze Subsistence, 1900-1941*.

The most common type of outbuilding in Old Town was the steam bath, also known as a *banya* (Russian) or *neli* (Dena'ina). The practice of taking steam baths, a custom in both the Russian and Dena'ina cultures, was also a tradition of the early Scandinavian immigrants to Kenai. In a 1984 interview, Peter Kalifornsky, a Kenaitze elder,

described the heating process for a typical neli constructed of spruce:

A person standing outside would pass red hot rocks from a fire outside through a small window in the neli, using two sticks. The person inside received the rocks with a wooden shovel and stacked them in the corner. The covering for the window was made of bear gut, dried and sewn together. Such a window covering was waterproof, air proof, and translucent (Mishler: 1985, 296-297).

Federal Programs for Agriculture and Sustainable Resource Management: 1898 - 1958

In 1898, the Federal Government established the Alaska Agriculture Experimental Station in Kenai for the purpose of determining what crops and livestock would do well in this region. The reason for the Station was government anticipation that the Kenai area "would become rapidly settled" (Annual Report, Alaska Agriculture Experimental Station: 1909). The Experimental Station was located on twenty-six acres, just inside the current north and west boundaries of the Kenai Townsite Historic District (Ibid).

The first Experimental Station buildings consisted of a residence and a barn, with "less than a dozen Galloway cattle" (Ibid). The Station also had a hand-dug well which many Old Town residents used to draw their supply of drinking water (Ibid). The 1903 Annual Report notes that a woodshed, blacksmith shop, and implement shed were constructed during the year (Annual Report, Alaska Agriculture Experimental Station: 1903). Experiments conducted at the Station led to the conclusion that grain did poorly in this region because of the cool summers; cattle could be raised, but needed to be hand fed for at least seven months a year; hay cultivation was possible, and kale, cabbage, turnips, and potatoes did well ("The Clarion," July 1976). By 1908, the U.S. Government concluded that Kenai did not show promise for farming, and the Station was closed, its equipment and livestock transferred to Kodiak (Annual Report, Alaska Agriculture Experimental Station: 1909). No Experimental Station buildings remain standing.

After the Alaska Agriculture Experimental Station closed, the Alaska Fish and Game Commission constructed a two-story wood frame building (1935) and used the property for their headquarters until the late 1940s. Prior to World War II, a portion of the Alaska Fish and Game Commission property served as an airfield for Kenai.

In 1941, the U.S. Government established the Kenai National Moose Range. This early resource conservation effort set aside 1,730,000 acres on the Kenai Peninsula as a protected habitat for moose, and the

Territorial Fish and Game Commission Headquarters became the Kenai National Moose Range Headquarters. The first manager of the Refuge, David Spencer, lived in the former Game Commission residence, known as the Primary Quarters. Over the next three decades an Office/Secondary Quarters (1949-50), additional Quarters Building (early 1950s), a Boat Shed (1950s), and a Shop/Garage (1957-58) were added. All of these buildings are extant. In 1980, after passage of the Alaska National Interest Lands Conservation Act (ANILCA), the Kenai National Moose Range was enlarged by two million acres and renamed the Kenai National Wildlife Refuge. The Refuge Headquarters was then moved to Soldotna. (The Kenai National Wildlife Refuge: nd) The property is currently owned and used by U.S. Fish and Wildlife.

Post-War Community Growth: 1948 to 1958

World War II construction projects, opening of the Kenai Peninsula to homesteading in 1947 by the federal government, and construction of the Sterling Highway in 1951 served as catalysts for steady population growth for Kenai in the late 1940s and early 1950s. This population growth marked the end of Kenai's years as an isolated subsistence-based village and its beginnings as a town.

Jetret "Jettie" Petersen in the 1985 book Once Upon the Kenai, described Kenai in 1947 as

a typical Alaska village with no services, townsite, streets or sidewalks. People lived in log cabins and frame homes, nestled together with fenced-in gardens and yards. There was the stately Russian Orthodox Church and Rectory, the Russian schoolhouse, two general stores, the marshal's office and home, Independent Mission Home and Orphanage, and a post office in a private dwelling. The BIA schoolhouse had burned down some years earlier but the red-painted coal shed and outhouse were still standing. They were exactly the same as the ones in Seldovia and other villages. There was an airfield but no airport building -- just an airstrip to land on and depart from. There was one school, the Kenai Territorial School -- with all 8 elementary grades and 4 years of high school -- no public kindergarten in those days. [The school was] located in an old frame building where the present Fine Arts Gallery is today (Kenai Historical Society: 1985, 268-169).

The Russian Orthodox Church and Rectory are the only buildings that remain of the 1947 properties described by Mrs. Petersen.

A map of the Townsite area, prepared by the Civil Aviation Administration in conjunction with new airfield construction,

documented the buildings and structures standing in Townsite area in 1949 (U.S. Survey No. 2970A, 7-1-49). Figure 12, an overlay created from the information on the CAA map, shows the properties that existed in 1949 compared with the current properties in the Kenai Townsite Historic District, 1995. Thirty-eight of the buildings and structures present in 1949 are no longer standing. In 1950, the population of Kenai was 350, only a slight increase from the 1939 count of 302.

Homesteading

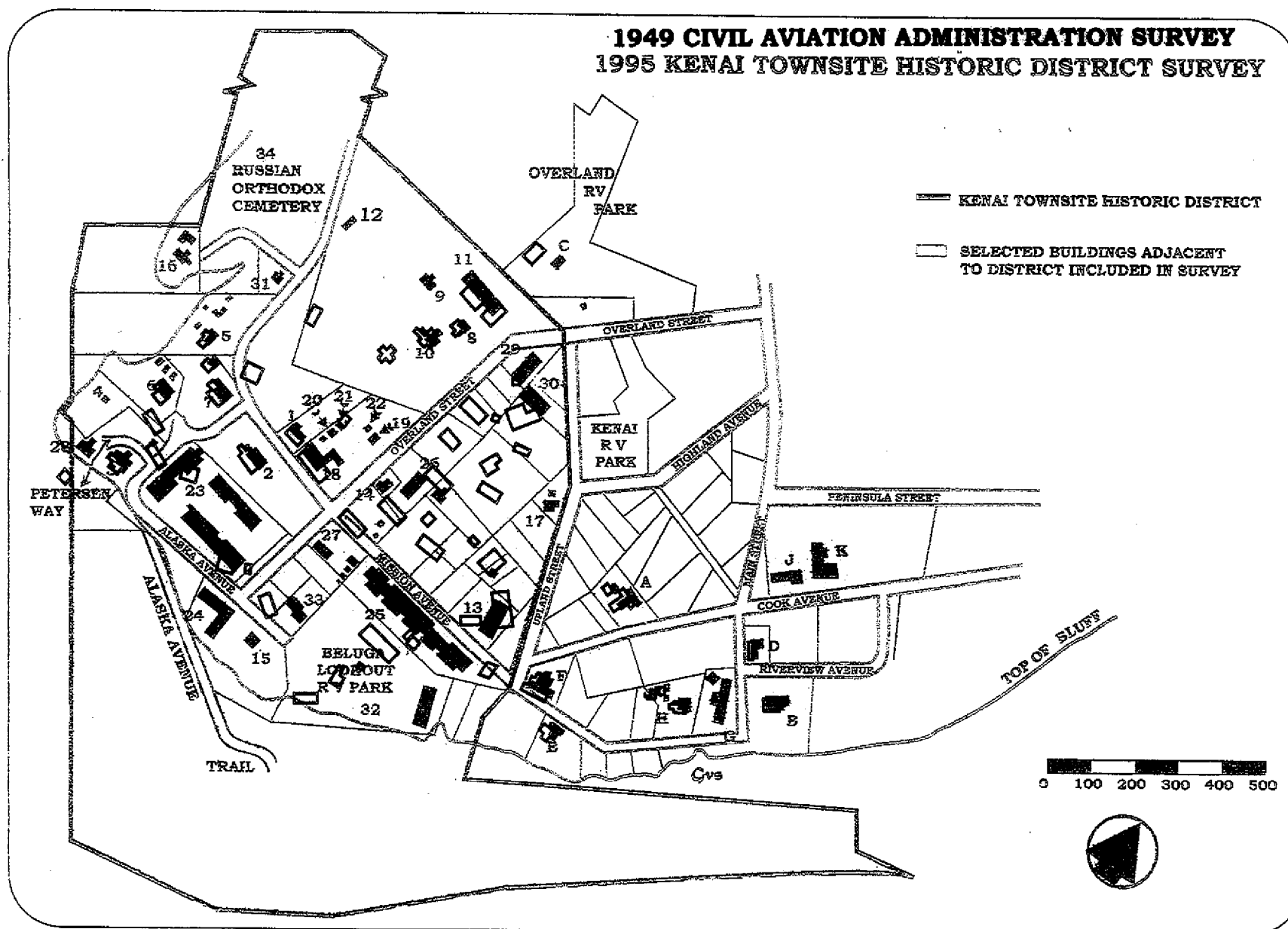
Construction of Wildwood Air Force Base in 1953 brought new people to the Peninsula. Some of the construction workers, in addition to former soldiers that had been stationed near Kenai during the War, liked the area and returned with their families. The Kenai area during the early 1950s was described by one author as "the ideal central community for isolation-seeking homesteaders: no zoning ordinances, no property taxes, and no local government" (Petersen: 1983, 87). The Federal Homesteading Act granted 160 acres to each person who cleared and cultivated the land and built a habitable dwelling on it. Homestead land was technically "free," but proving up on it was

an expensive proposition. A bulldozer had to be bought or hired to push out stumps, level the earth, and prepare it for cultivation requiring the land for cultivation. Roads [had to] be built, a well drilled [and] a house built. All this required considerable amounts of cash (Ibid, 10).

Although eligible to apply for the free land, few, if any, Kenaitze homesteaded (Ibid). Aside from being unable to afford the required improvements to the land, the very concept of living in isolation was culturally foreign to a people whose tradition and survival was intertwined with shared resources and taking care of one another.

Although most homesteaders lived outside the Village, their presence accelerated the pace of development for the entire Kenai area, because of the basic amenities they required: "roads, regular mail delivery, and freight service" (Ibid, 87).

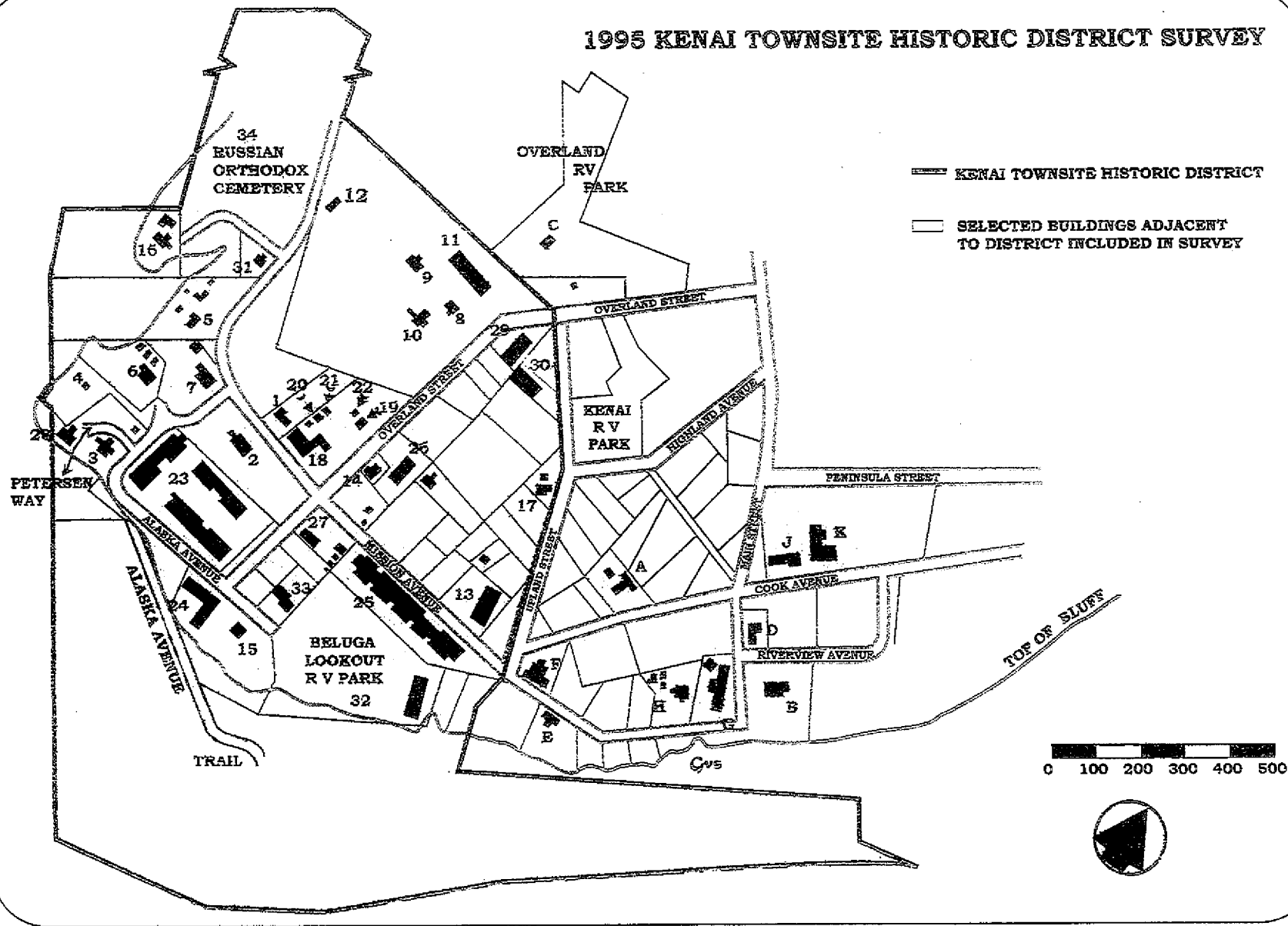
Living conditions in Kenai during the early 1950s were little different than on the homesteads. In 1950, Kenai's 350 residents lived without a city water and sewer system, street lights, and, in most cases, electricity (Ibid). The majority of homes were heated by wood, and Coleman lanterns used for light (Ibid). Two of the homes in the KTHD Survey Area date from this period: the **Mann/Peters House** (1952) and the **Ray Gee House** (1954). A fundamental difference between the homesteads and the homes in the village, however, was that no one in the Village of Kenai legally owned their home or land beneath it.



KENAI TOWNSITE HISTORIC DISTRICT SURVEY 6/96

Figure 12. Overlay Map. Building and Structures of Original **KENAI TOWNSITE HISTORIC DISTRICT SURVEY 6/96** Cvs Townsite, Kenai, Alaska: 1949 and 1995.

1995 KENAI TOWNSITE HISTORIC DISTRICT SURVEY



KENAI TOWNSITE HISTORIC DISTRICT SURVEY 6/96

Figure 12. Overlay Map. Building and Structures of Original Townsite, Kenai, Alaska: 1949 and 1995.

Kenai Townsite Petition, Survey, and Land Auction

In April of 1947, thirty-four residents of Kenai sent a petition to the Anchorage District Land Office of the federal Bureau of Land Management (BLM) asking that Kenai become an official townsite (Kenai Trustee Files, 1948-1956). The Kenai Townsite Trustee files describe Kenai in 1949 as

an unincorporated town of approximately 350 residents, 175 registered voters, 42 to 45 residences, 2 general mercantile stores, an inn, a roadhouse, 2 churches, 1 school, a lunchroom, a variety store, and a building used as a dancehall and movie house. It also has an office for the U.S. Marshall, a jail, and buildings of the Fish & Wildlife Commission. The approximate value of all the improvements is \$350,000. Kenai is primarily a fishing village (Ibid).

In 1950, the BLM surveyed Kenai, and in 1952, the following notice was issued by the BLM Regional Administrator and Townsite Trustee:

Notice is hereby given by the undersigned Trustee, Kenai Townsite that he will on or after June 19, 1952, proceed to award lots that may be applied for within said townsite. All lots for which applications are not filed within 120 days from the date of this notice will be subject to disposition to the highest bidder at public sale. Only those who were occupants of lots or were entitled to such occupancy on April 4, 1951, the date of acceptance of the subdivisional plat of survey of said townsite, or their assigned thereafter, are entitled to the allotments herein provided (Ibid).

In 1954, a public land auction was held so that residents could petition for and receive title to their property (Ibid). Land patenting required that a person be actually living on the land which he or she claimed, and that he set forth the boundaries of the property he believed to be his. If the two adjacent neighbors had no objections to the boundaries, (generally 50 feet by 100 feet) the applicant could apply for the title to his property for a nominal fee. Unclaimed lots were sold to the highest bidder (Ibid).

During the application period, several legal disputes arose as to who was the actual property owner. One claimant stated that her son had sold her property without her knowledge, and challenged the new owner for legal title. After submitting a sworn statement stating that her mother and herself had lived on the land for a total of 80 years and never intended to sell, she won legal title to the property (Ibid).

A spokesperson for the Kenaitze Tribe, IRA, asserted that during the land patenting time several other Kenaitze families were not as fortunate. They lost title to the land they had lived on for generations because they did not understand the patenting process (Swan: 8-22-95).

Post-War Construction

While Old Town changed little during the early 1950s, other areas of town expanded rapidly, due to the efforts of the new residents. Jetret "Jettie" Petersen, a school teacher, organized the effort that created the first library in 1949, and the following year the town's first Protestant church, the **Kenai Bible Church** was established. (Kenai Historical Society: 1983, 403) The Church remains standing. The following year the Kenai Civic League was organized, and their first project was "acquiring title to the Territorial School building and grounds" (Ibid, 402). The **Civic League** building was constructed in 1954, adjacent to the old Territorial School building, which was demolished in conjunction with the construction of the new building (Ibid). The **Kenai Firehall** was built the following year, and a Jail addition completed in 1957. Both the Civic League Building and the Firehall-Jail remain, located several blocks from the east boundary of the KTHD. The Civil Air Patrol formed in 1952, and in 1954 the Kenai Chamber of Commerce was organized "to fill many of the voids created by lack of city government" (Ibid, 413).

Two of the commercial buildings in the KTHD are associated with the Post-War Community Growth Period. The **Pharmacy/Jahrig Electric Company** (moved to its present location in the early 1950s) is believed to have been the first theater and first pharmacy in Kenai. The **Kenai Commercial Company** (moved to its present location in 1948), operated by Cecil and Helen Jones, was Kenai's only groceries and dry goods store for many years. By 1957, the population of Kenai was 600, almost double that of 1950.

Toward the end of the Post-War Community Growth period one of Kenai's historic landmarks, the old Russian schoolhouse, was torn down. Constructed of square, dovetailed logs, it was believed to have been the last remaining building of Fort Kenay (Kizzia: 12-20-91). Located across the street from the Russian Orthodox Church, the c1900 school had stood vacant for several years. In the summer of 1956 several townspeople convinced the property owner (The Russian Orthodox Church) that the building was an eyesore and a hazard (Foss: 9-12-95). The schoolhouse was razed when most of the Old Town residents were off tending their set-net sites. A fifty-six year resident of Kenai recounted that when the villagers returned from fishing to find the building had disappeared, they were "furious" (Ibid).

Post-Statehood Development Period: 1959 - 1996

Oil and Gas Discoveries

The 1957 discovery of oil in the Swanson River region of the Kenai Peninsula was an important factor in Alaska's successful bid for Statehood. The year after Alaska was admitted to the Union in 1959 as the forty-ninth state, the small town of Kenai became an incorporated city (5-10-60).

After one of Richfield Oil Corporation's test wells confirmed that the area was rich in petroleum deposits, other oil companies (Marathon, Skelly Oil, Standard, Union, AMOCO, and later, Tesoro) quickly established operations in Kenai. Two refineries were built at Nikiski, and within the next ten years, "seven oil fields and thirteen natural gas fields were discovered off-shore in Cook Inlet" (Antonson and Hanable: 1985, 434).

The oil boom encouraged real estate speculators, and "people stood in line to buy land" (Thompson: 1983, 80). By 1958, "finding a place to live in Kenai was almost impossible -- there were no houses to spare" (Willets: 1974, 87). Within the next six years, the federal government constructed a new Post Office (1961), and the city installed a water and sewer system (1964). Following new discoveries of oil in 1965, "pre-fabricated steel buildings sprang up seemingly overnight . . . to house service industries as the oil companies geared up for offshore exploration and production" (Petersen: 1983, 87). Three refineries, Standard, Tesoro, and Phillips, were established during the 1960s. By 1970, Kenai's population was 3,533, more than quadrupled from 1960.

The subsequent discovery of thirteen natural gas fields, several in the Kalifornsky Beach area, generated the establishment of an ammonia-urea plant and a gas liquification center near Kenai. Between 1966 and 1968, offshore drilling platforms were installed in Cook Inlet, and soon "[oil] production approached 200,000 barrels per day" (Ibid). By 1978, Kenai's population was 4374.

In response to the increased need for housing connected with Kenai's oil and gas development, three large apartment complexes (incorporating a total of five buildings) were constructed in the Old Town area during the late 1960s: **Bay Arms #1** (1967), **Bay Arms #2** (1967), and the **Toyon Villa** (1968) (Figure 13). In the following twenty-seven years, eleven more buildings were constructed in the original Townsite area: two **4-plexes** (1978), a **tri-plex** (1993-95), five **single-family dwellings** (c1960s-1992), a building commemorating the centennial of the Alaska Purchase, "**Fort Kenay**," (1967), and two other commercial properties, **Tom's Auto Electric Repair** (c1960s) and the **Beluga Lookout RV Park** (1992) (14 properties, total).

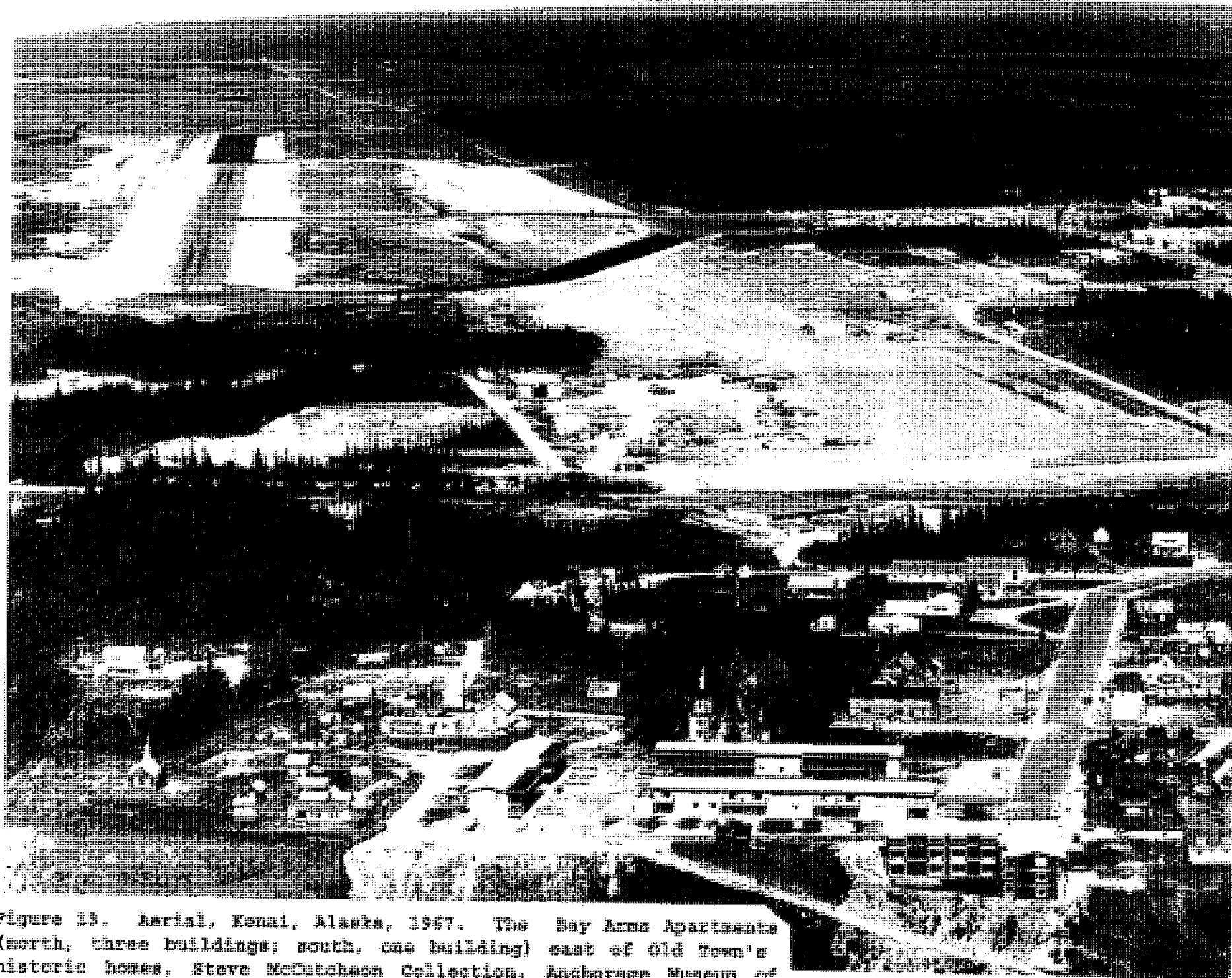


Figure 13. Aerial, Kenai, Alaska, 1967. The Bay Area Apartments (north, three buildings; south, one building) east of Old Town's historic homes. Steve McCutcheon Collection, Anchorage Museum of History and Art.

Historic Preservation and Tourism Development in
the Kenai Townsite Historic District: 1967 to 1996

As Alaska tourism grew, Kenai looked to this industry as a way to broaden its economic base beyond commercial fishing and petroleum. In 1967, to commemorate the centennial of the Alaska Purchase, the City constructed a two-story log building (financed with federal grant money) as a memorial of Fort Kenay. "Fort Kenay" was erected on the vacant lot where the historic Russian school had once stood. The Lady Lions' Club held a fashion show and dinner to raise money to furnish the interior (Anchorage Daily Times: 10-31-67). In the early 1970s, the City of Kenai and the Kenai Historical Society (KHS) moved four small cabins (Arness Cabin, Miller Cabin, Cabin #3, Three Scandinavians' Cabin) to a fenced compound behind the building, with plans to eventually furnish the cabins with interpretive displays (Ford: 7-1-76).

The Kenai Historical Society was one of the first tenants of the newly-constructed "Fort Kenay" building in 1967. As manager of the Kenai Museum until 1977, the Historical Society raised money for the museum and for Old Town preservation projects by selling souvenir items, a cookbook, and soliciting donations and memberships (Frances Meeks: 2-26-96). The KHS was one of the organizations directly responsible for the successful restoration of the Russian Orthodox Church and the Chapel of Saint Nicholas. Originally estimated to cost over \$80,000, the Chapel restoration was accomplished for far less because of the Society's donated labor and materials.

The "Fort Kenay" building currently houses an office and small crafts shop of the Kenaitze Tribe, IRA. Walking tours of Old Town -- De Sukdu, "Our Story": The Native Village, 1930-early 1940 -- led by tribal members, begin here. Related projects designed to preserve Kenaitze tradition and culture include a mapping project of Old Town in conjunction with Kenai Community College, and the collection of oral histories shared by the Elders.

In 1985, members of the KHS published a compilation of oral histories and historic photographs of Kenai, Once Upon the Kenai. Long-time Kenai resident Jettie Petersen provided the vision and impetus for the project. Many of the stories and photographs in the book provide valuable information about the history of the residents and buildings in Kenai's Old Town neighborhood. The KHS donated \$40,000 from the profit of the book to help finance restoration of the Holy Assumption of the Virgin Mary Russian Orthodox Church.

In the ongoing effort to encourage Kenai tourism, the City of Kenai hired a Seattle architectural firm in 1985 to explore options for development of the Original Townsite neighborhood. Among the ideas presented by the firm were widening the streets, "major resort development . . . in close proximity to the historical compound [Russian Orthodox Church property]," specialty shops, and relocating historic buildings that "could not be retained on their original sites [or] incorporated into the historic compound" (The Kasprisin Design Group: 1985). A number of Kenai residents objected strongly to these proposals, asserting that such development would be inappropriate with the historic character of the Old Town neighborhood. The City did not pursue any of the recommendations offered by the architectural firm (Kizzia: 4-7-91).

Pressure for economic development of the Old Town area surfaced once again in 1991 when a tenant of the Oskolkof/Dolchok Cabin began work on his idea to develop the property as a tourist attraction. The plans for "Steven's Alaskan Originals" featured an "art gallery, manicured botanical garden, pony rides, salmon bake, and an animated Santa and reindeer" (Kizzia: 12-21-91). Father Macarius Targonsky of the Holy Assumption of the Virgin Mary Russian Orthodox Church and other residents of the Old Town neighborhood were adamant in their opposition to the proposed amusement park. A National Park Service spokesperson "warned [the City of Kenai] that the Church's status as a National Historic Landmark could be jeopardized by inappropriate commercial development" (Ibid). The City subsequently refused to issue a permit for the business, and the developer left town. Before he left, however, he dumped 385 loads of fill-dirt in the gully behind the cabin. The fill covered Kenaitze graves, and also obliterated any possible trace of the "northwest corner of Fort Saint Nicholas" (Kizzia: 12-21-91).

The most recent tourist development in the Kenai Townsite Historic District is being constructed by the owners of the Beluga Lookout RV Park, who own most of the wedge-shaped lot bounded by Mission, Overland, and Upland Streets. They plan to offer visitor services, such as food and souvenirs, in a cluster of small log cabins being built to the northwest of the former Pharmacy/Jahrig Electric building, which has been remodeled in conjunction with the enterprise.

Preservation efforts for the Russian Orthodox Church properties are ongoing. In May 1996, the Icon Preservation Task Force funded a visit by Russian icon preservation expert, Vera Espinola, to the Holy Assumption of the Virgin Mary Russian Orthodox Church. Espinola examined the icons and made preliminary recommendations on how they could be preserved, hoping to return at a later date for more thorough study (Lewis: 5-18-96). In July 1996, a federal appropriation of \$200,000 will finance the restoration of the Rectory of the Holy Assumption of the Virgin Mary Russian Orthodox Church. Repairs to the

Rectory will include restoration of a crumbling foundation and roof and replacement of inadequate plumbing and wiring (Anchorage Daily News: 5-18-96).

Conclusion

The history of Kenai's original Townsite area reveals successive decades of built-environment history rich in diversity and tradition. For almost eighty-four years, from the time of the 1867 Alaska Purchase until construction of the Sterling Highway, the population of Kenai grew slowly. Building types and methods of building construction in Kenai also evolved slowly during this period.

After the Sterling Highway provided convenient access to the previously isolated Kenai Peninsula in the early 1950s, homesteading triggered the process of Kenai's evolution from subsistence village to modern city. Improved transportation of building materials and advances in building technology changed the appearance of Kenai, and many buildings from previous generations were torn down to make way for new Post-War construction. After the discovery of oil on the Peninsula, development pressures became even more pronounced, and many of the small cabins and frame houses that had previously characterized Old Town were moved or demolished. Monolithic stucco apartments constructed in 1967 became a fortress-like east boundary for the Early Community Building Era homes. By 1970, the population of Kenai was 3,533, almost eleven times its population in 1950 (Table 5).

The Post-Statehood Development Period is on-going, but the zoning ordinance for the recently-created Kenai Townsite Historic District has been designed to mitigate the detrimental effects of future construction in the historic Townsite area. If design review procedures are conscientiously implemented, the character of the remaining historic properties of the District can be preserved.

KENAI VILLAGE, KENAI TOWNSITE, CITY OF KENAI

Population Growth: 1880 through 1995

<u>Year</u>	<u>Population</u>
1880	44
1890	264
1900	156
1910	275
1920	332
1929	286
1934	131
1939	302
1950	350
1957	600
1960	778
1970	3,533
1978	4,374
1980	4,324
1983	6,000
1995	7,016

Sources:

Once Upon the Kenai

Kenai Visitors and Convention Bureau,
U.S. Government Census Reports

Table 5. Kenai Population Growth: 1880-1995.

SECTION III: PROPERTY TYPES

SECTION III: PROPERTY TYPES

Two property types categorize the properties of the Kenai Townsite Historic District Survey Area. The forty-four surveyed properties are associated with four of the seven historic themes and both of the general categories of the KTHD as described in Section II, Historic Context:

- Dena'ina Building Traditions, A.D. 1000-1899
- Russian Exploration and Fur Trade, 1741-1866
- The Russian Orthodox Church, 1841-1906
(extant properties, 1881-1906)
- United States Purchase of Alaska, 1867: Fort Kenay, 1869-1870
- Early Community Building Era, 1898-1925
- Kenaitze Subsistence, 1900-1941
- Federal Programs for Agriculture and Sustainable Resource Management, 1898-1958 (extant properties, 1935-1958)

- Post-War Community Growth, 1948-1958
- Post-Statehood Development, 1959-1996

The property type **Residential** includes all buildings and outbuildings associated with living accommodations. This property type comprises the majority of the properties in the Survey area.

The property type **Other** is divided into three sub-categories --

- Social: properties associated with churches and fraternal organizations

- Commercial: properties associated with the sale of food, services and entertainment

- Government: properties associated with either federal government natural resource conservation programs or municipal incorporation.

Residential

The buildings of this property type are both log and frame, one or one-and-one-half stories in height. Log buildings are constructed of hand-hewn squared logs and exhibit tight dovetail notching. They tend to be small and rectangular in shape. Frame residences are similar in size to the log homes. Many were constructed with timber salvaged from dismantled fish traps and marine pilings of the canneries.

Both the frame and log homes have gable or hip roofs and many display dormers. Shed-roofed additions on side and rear elevations are common. Frame and log outbuildings, such as sheds, garages, smokehouses, banyas (saunas), and storage structures, are frequently seen.

Houses associated with the historic themes *Early Community Building Era* and *Kenaitze Subsistence* were not sited following any formal plan. Most were clustered near the bluff, connected by a network of footpaths. During the period of significance for the Kenai Townsite Historic District, 1881-1925, most residential properties surrounded the church.

Three of the homes in the KTHD Survey area were constructed between 1930 and 1954. Associated with the Kenai's *Post-War Community Growth Period*, these residences, all of frame construction, exhibit three different roof styles: hip, gable with dormers, and flat. Two of the buildings are similar in scale, shape and building materials to the homes of the *Early Community Building Era*. These buildings are visually compatible with the District's historic residences.

Six single-family residences, associated with *Post-War Community Growth* and *Post-Statehood Development*, date from the mid 1950s through 1992. Five of the homes are frame, one-story and have gable roofs. Most are sided with T1-11 paneling. The sixth residence is a mobile home. These six buildings are generally incompatible with the historic properties of the KTHD because of their plywood siding and large single-pane windows. Five of the houses are much larger in size than homes in the Survey area constructed prior to 1955.

Multiple occupancy housing includes three large two-story apartment houses built in 1967 and 1968; two four-plexes dating from 1978; and a tri-plex still under construction. All are frame buildings with rectangular plans. The apartment houses consist of five separate buildings, four of which are adjacent to each other, and occupy bluff property. The remaining apartment and the tri-plex lie in close proximity to each other slightly east of the 1967 apartments. The four-plexes are identical in appearance, and lie adjacent to each other several blocks north of the apartment complexes.

Three apartment buildings are located immediately adjacent to the Russian Orthodox Church. All of the multiple residence complexes are large, and all but one have T1-11 siding or stucco, exterior surfaces incompatible with those of the District's historic properties. All of the multiple occupancy residences are intrusive elements in the Historic District.

Over the years, as families grew and living conditions rose above subsistence levels, alterations were made to many of the residences in the original Townsite area of Kenai. Vinyl siding, plywood siding, and metal roofing became popular because they required less maintenance. Technological advances such as indoor plumbing and large, single-pane window glass further changed the size and appearance of the residences. Unlike the earliest residences, the properties which post-date the *Early Community Building Era* are oriented toward the street in a grid pattern. A small percentage of the residences in the Survey area now have commercial uses.

Other: Social, Commercial and Government

Thirteen properties within the District and five properties adjacent to it comprise this property type. Buildings in the Other property type, particularly those in the sub-category Social, tend to be larger than residences built prior to the 1950s. Most Social and Government properties have retained their original exterior appearances. Commercial buildings in the Survey area that date from c1950 have not maintained their appearance, primarily because of deterioration and changing uses. The majority of Commercial buildings in the District, however, were constructed since the late 1960s and they retain their appearance as originally constructed.

Social

Most of the properties in this sub-category are associated with the historic theme *Russian Orthodox Church* (1881-1906). They include the Church, Chapel, Rectory and Cemetery. Collectively, these properties represent the important activities associated with the Russian Orthodox Church in Kenai.

The Russian Orthodox Church buildings are log construction with square or dove-tail notching. Two are covered with wood siding. The church and rectory are in proximity to each other but the other two properties are outlying. This Russian Orthodox Church is one of the oldest standing Orthodox Churches in Alaska, and is a good example of a Russian village church in the Pskov, vessel or ship, design.

The Social sub-category also includes two other buildings outside KTHD boundaries. One of the buildings had successive uses over the years as a theater, a dance hall and a Protestant church/residence. It is log construction, modified several times, and currently a private residence. The other building is a Protestant church associated with Kenai's *Post-War Development Period*. It is a frame construction covered with metal siding. Both properties are substantial in size, and are incompatible with the historic properties of the KTHD.

Commercial

Commercial properties are located throughout the District. They are individual in appearance, construction materials and size. None are contributing properties in the District or compatible with the District's historic properties.

All of the Commercial properties are associated with the general categories *Post-War Community Growth* and *Post-Statehood Development*. None are associated with an historic theme of the District. The single Commercial property over fifty years old was being modified while the field work for the KTHD Survey was being conducted, so its finished appearance and compatibility with the District's historic buildings are unknown. Also unknown is how much of the original fabric remains, as the Contractor was not allowed on the property.

Other Commercial properties within the District include two residences now housing commercial operations, a shed used for automotive electrical repair that lies adjacent to a mobile home, and a representation of an historic fort which houses offices and a gift shop.

The "fort" is large and built with machined logs. The shed, mobile home, and a residence sided with T1-11 are contemporary in design. The remaining log residence is large and has received additions that significantly modify its original exterior appearance. Located immediately outside the District is a commercial building that has undergone extensive alterations which have destroyed its historic integrity.

Government

Five U.S. Government buildings are grouped together on five-acres near the north boundary of the District. These properties are associated with the historic theme *Federal Programs for Agriculture and Sustainable Resource Management*. The federal government properties --residences and support buildings--retain their original appearance. No intrusive construction has been added within the complex. All buildings and structures are frame construction, one or one-and-a-half stories with gable roofs, and square or rectangular footprints. A paved road system connects the properties.

Two municipal properties lie adjacent to each other outside the District's boundaries. These buildings are associated with the general category *Post-War Community Growth*. A pre-school operates in one building, and the other building houses a fine arts gallery and artists' workshop.

The municipal properties in the Government sub-category are each one-story and similar in scale. One is frame construction with a gable roof and rectangular plan. This building has retained its original appearance. The other property is concrete block and has a flat roof and a "L"-shaped footprint. Its doors and windows have been modified.

SECTION IV: PROPERTY DATA

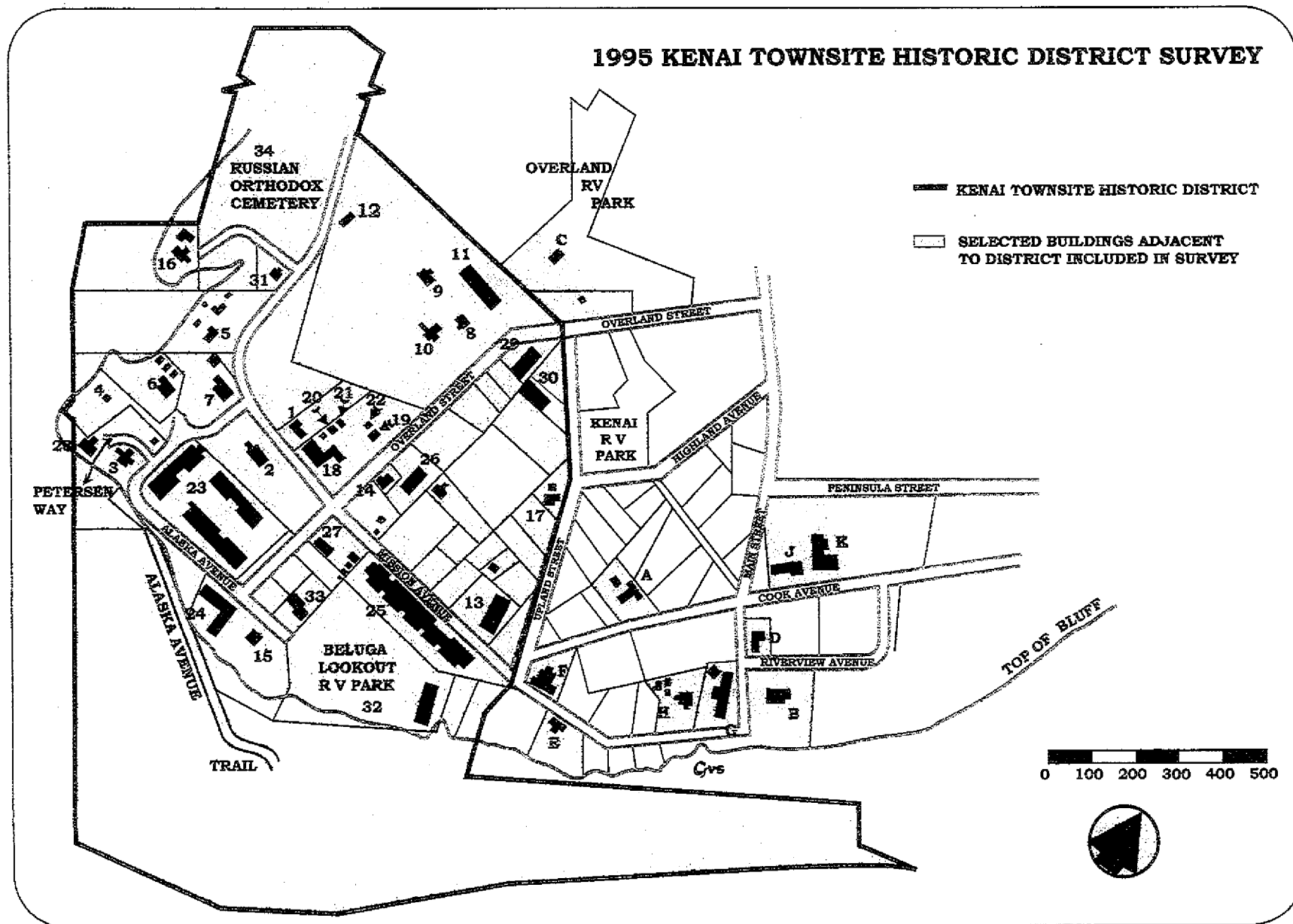
SECTION IV: PROPERTY DATA

Properties of the Kenai Townsite Historic District Survey area (including ten properties located adjacent to the KTHD boundaries) are grouped in this Section according to the following historic themes and (non-historic) general categories:

The Russian Orthodox Church, 1881-1906
Early Community Building Era, 1898-1925
Kenaitze Subsistence, 1900-1941
Federal Programs for Sustainable Resource
Management, 1935-1958
Post-War Community Growth, 1948-1958
Post-Statehood Development, 1959-1996

Within the theme or category, the properties are arranged by property type (Residential and Other: Social, Commercial, and Government). Where possible, the properties are also listed chronologically by date of construction. Historic photographs could not be located for each property, but where available, are generally pictured before the current photographs for purposes of comparison.

A map (Fig. 14) of the properties in the KTHD Survey is found on the following page. Basic information about the Survey properties shown on the map is provided in Tables 6 and 7.



KENAI TOWNSITE HISTORIC DISTRICT SURVEY 6/96

Figure 14. 1995 Kenai Townsite Historic District Survey

Historic Name Common Name <u>Address</u>	Date	Prop. Type	Alterations Moved	# on Map	AHRS #
Russian Orthodox Cemetery Old Russian Cemetery (no street address)	1800s	O:S	N/N	34	KEN-325
Parish House Rectory 1106 Mission Avenue	1881	O:S	N/N	1	KEN-076
Holy Assumption of the Virgin Mary Russian Orthodox Church same 1105 Mission Avenue	1895	O:S	N/N	2	KEN-036
Edelmann House Petersen House 608 Petersen Way	1896	R	Y/N	3	KEN-080
Saint Nicholas Chapel same (no street address)	1906	O:S	N/N	4	KEN-061
Wilson House same 508 Mission Avenue	c1912- 1916	R	Y/N	5	KEN-264
Oskolkof Cabin Dolchok Cabin 604 Mission Avenue	c1918	R	Y/Y	6	KEN-074
March House same 510 Mission Avenue	c1918	R	Y/N	7	KEN-263
"Fort Kenay" Cabins 1104 Mission Avenue					
Miller Cabin	1910	R	N/Y	19	KEN-268
Arness Cabin	1925	R	Y/Y	20	KEN-265
Three Scandinv. Cabin #3	c1918-25	R	N/Y	21	KEN-266
	c1918-25	R	N/Y	22	KEN-267
Codes to property types, reflecting the original use of the property:					
R = Residence					
RM = Multiple Residency					
O = Other: C = Commercial					
S = Social					
G = Government					
(Continued)					

Table 6. Properties surveyed in the
Kenai Townsite Historic District.

Historic Name Common Name <u>Address</u>	Date	Prop. Type	Alterations Moved	# on Map	AHRS #
Kenai National Moose Range Headquarters Old Refuge Headquarters 502 Overland Street					KEN-269
Primary Quarters	1935	O:G	N/N	8	KEN-271
Quarters	1949	O:G	N/N	9	KEN-272
Office	c1944/51	O:G	Y/Y	10	KEN-270
Shop/Garage	1957-58	O:G	N/N	11	N/A
Boat Shed	1950s	O:G	N/N	12	N/A
Theater/pharmacy Jahrig Electric Co. 1002 Mission Avenue	c1940s	O:C	Y/Y	13	KEN-274
Ray Gee House same 1011 Alaska Avenue	1954	R	N/N	15	KEN-273
none Steve King House 500 Mission Avenue	1950s/ 1960s	R	N/Y	16	N/A
N/A N/A 517 Overland Street	c1960	R	N/N	14	N/A
N/A Tom's Auto Electric Repair 506 Upland Street	1960s	R/O:C	N/N	17	N/A
N/A "Fort Kenay" 1104 Mission Avenue	1967	O:C	Y/N	18	KEN-048
N/A Bay Arms Apartments (north: 3 buildings) 1101 Alaska Avenue	1967	RM	N/N	23	N/A
Codes to property types, reflecting <u>the original use of the property:</u> R = Residence RM = Multiple Residency O = Other: C = Commercial S = Social G = Government					
(Continued)					

Table 6. Properties surveyed in the Kenai
Townsite Historic District (Continued)

Historic Name Common Name <u>Address</u>	Date	Prop. Type	Alterations Moved	# on Map	AHRS #
N/A Bay Arms Apartments (south: 1 building) 1013 Alaska Avenue	1967	RM	N/N	24	N/A
N/A Toyon Villa Apartments 1001 Mission Avenue	1968	RM	N/N	25	N/A
N/A Stanford House 507 Overland Street	1970	R	N/N	26	N/A
N/A Petterson House 1007 Mission Ave	1975	R	N/N	27	N/A
N/A Mysing Office 606 Petersen Way	1975	R	N/N	28	N/A
N/A Four-plex 501 Overland Street	1978	RM	N/N	29	N/A
N/A Four-plex 504B Upland Street	1978	RM	N/N	30	N/A
N/A Foss House 504 Mission Avenue	1990-92	R	N/N	31	N/A
N/A Beluga Lookout RV Park 929 Mission Avenue	1992	O:C	N/N	32	N/A
N/A N/A 1010 Alaska Ave	1993-95	R	N/N	33	N/A
Codes to property types, reflecting the original use of the property:					
R = Residence					
RM = Multiple Residency					
O = Other: C = Commercial					
S = Social					
G = Government					

Table 6. Properties surveyed in the Kenai
Townsite Historic District (Continued)

Historic Name Common Name <u>Address</u>	Date	Prop. Type	Alterations Moved	# on Map	AHRS #
Interlocked Moose Horn Club Tomrdle House 904 Cook Avenue	c1915	O:S	Y/Y	A	KEN-277
Martin Hermansen House Louisa Miller House 605 Main Street	1916	R	Y/N	B	KEN-279
Lindgren House Helen Jones House 412 Overland Street	1918	R	N/N	C	KEN-275
Dolchok Cabin Juliussen Cabin 814 Riverview Avenue	1922	R	Y/Y	D	KEN-278
Showalter House same 911 Mission Avenue	c1930s- 1940s	R	Y/N	E	KEN-276
Kenai Commercial Co. Cowan Gerry Aaronson, Attorneys 909 Cook Avenue	1948/ 1989	O:C	Y/Y	F	N/A
Kenai Bible Church same 600 Main Street	c1950	O:S/R	N/N	G	N/A
Mann House Peters House 902 Mission Avenue	1952/ 1978	R	Y/N	H	N/A
Civic League Bldg Kenai Cooperative Pre-School 818 Cook Avenue	1954	O:G	Y/N	J	KEN-281
Kenai Firehall/Jail Fine Arts Center 816 Cook Avenue	1955/ 1957	O:G	Y/N	K	KEN-280
Codes to property types, reflecting <u>the original use of the property:</u> R = Residence RM = Multiple Residency O = Other: C = Commercial S = Social G = Government					

**Table 7. Surveyed Properties Adjacent to the
Kenai Townsite Historic District**

THE RUSSIAN ORTHODOX CHURCH: 1881-1906

The Russian Orthodox Cemetery, 1800s

Parish House (Rectory), 1881

Holy Assumption of the Virgin Mary Russian Orthodox Church, 1898

Chapel of Saint Nicholas, 1906

The property type for the Russian Orthodox Church properties is

Other: Social. These properties comprise a National Historic
Landmark District.

Map #: 34 AHRS#: KEN-325 Property Type: Other: Social

Property Name: The Old Russian Cemetery, The Russian Orthodox Cemetery

Address: None

Legal Description: That portion of USS 192, Mission Reserve, excluding leases

Date of Construction: late 1800s Condition: Good

Description: The Russian Orthodox Cemetery is approximately rectangular in shape and lies in the northern portion of USS 192. It occupies a level site covered with brush and high grass. Several trees are scattered over the area and trees protect the perimeter of the site. Traditional Russian wooden crosses and engraved stone tombstones mark graves, but many are also unmarked. Some of the crosses are hand-carved, although any written identification has eroded from their surfaces. Most crosses are made from dimensional lumber.

History and Physical Changes: The Cemetery dates from the Russian period, but early dates of use are not known. It may have been established as early as 1841 when the Russian-American Company built the first Russian Orthodox chapel in the area. This property illustrates a cultural change in burial practices for the local people. Prior to the Cemetery's construction, the practice was to bury people in any location. Several persons important to the Church are buried here including Deacon Alexander Ivanof and his wife, Lydia Ivanof.

The Holy Assumption of the Virgin Mary Russian Orthodox Church has continued to use the Cemetery through the twentieth century. Although parishioners are still occasionally buried here, the city cemetery is more typically used. The introduction of several stone tombstones is the only change evident within the Cemetery.

Outbuildings: None

Integrity: No physical alterations have taken place and the Old Russian Cemetery retains its integrity.

Associated Historic Theme: Russian Orthodox Church

Appearance at End of Period of Significance: The Cemetery appeared much the way as it does today, except that stone tombstones were not used to mark graves.

Contributing/Non-Contributing: The Russian Orthodox Cemetery has retained its historic integrity and is a significant contributing property in the Kenai Townsite Historic District (KTHD).

Historical Significance: The Russian Orthodox Cemetery is significant as an integral part of the Russian Orthodox Church tradition in Kenai. It is one of four Russian Orthodox Church properties (each a National Historic landmark) that together comprise a National Historic Landmark District within the KTHD.



Figure 15. Russian Orthodox Cemetery, facing west, 1995. Photo by S.H. Elliott.

Map #: 1 AHRS#: KEN-078 Property Type: Other: Social

Property Name: Parish House (Rectory of the Holy Assumption of the Virgin Mary Russian Orthodox Church)

Address: 1106 Mission Avenue

Legal Description: That portion of USS 192, Mission Reserve, per sub lease 97 @ KRD

Date of Construction: 1881

Condition: Fair/Poor

Description: The Parish House has a rectangular plan and measures 40' by 29'. The central two-story section has one-and-one-half story wings on either end. A shed addition, covered with horizontal planking, is located on the northwest end of the rear elevation. The building is constructed of hand-hewn redwood logs, joined with square notched corners. The logs are almost completely covered with wood shingles. The gable roof extends north to south on the central section and east to west on the two wings. It is covered with corrugated tin over wood shingles. Shiplap siding covers the gable ends. A covered entry on the facade extends four feet.

History and Physical Changes: The Rectory was built in 1881, but not inhabited until 1894. It is the oldest building in Kenai. It served as the home of the priest, who used a portion of it for classrooms. In 1969 a brick pier-and-concrete perimeter beam foundation was installed, the first floor planking was replaced with a concrete slab. The tin roof was added in 1970 by the local Lions Club. The original Russian galanka stove was removed in 1984. This stove had a five foot diameter brick chimney which heated both floors of the Rectory. The building is a National Historic Landmark, listed in the National Register of Historic Places as part of the Holy Assumption of the Virgin Mary Russian Orthodox Church complex. It is one of four properties in a National Historic Landmark District.

Outbuildings: None

Integrity: Few exterior alterations have been made to the building, and it retains its physical integrity.

Associated Historic Theme: Russian Orthodox Church

Appearance at end of Period of Significance: A photograph dated 1915 (Fig. 8) shows the property much as it appears today.

Contributing/Non-Contributing: The Parish House is a contributing property in both the Holy Assumption of the Virgin Mary Russian Orthodox Church National Historic Landmark District and the KTHD. It has maintained its integrity and is associated with one of the historic themes of the District.

Historical Significance: The building is believed to be the oldest building on the Kenai Peninsula, and has been in continuous use as a residence since it was first constructed in 1881. As an associated property of the Russian Orthodox Church in Kenai, it is a significant representation of Russian culture in southcentral Alaska.



Figure 16. Parish House (Rectory), south and west elevations, 1995.
Photo by S.H. Elliott.



Figure 17. Parish house (Rectory) and Holy Assumption of the Virgin Mary Russian Orthodox Church, west and south elevations, c.1915. Photo from Jettie Petersen album, courtesy of Mary Ford.

Map #: 2 AHRS: KEN-036 Property Type: Other: Social

Property Name: Holy Assumption of the Virgin Mary Russian Orthodox Church

Address: 1105 Mission Avenue

Legal Description: That portion of USS 192, Mission Reserve, excluding leases

Date of Construction: 1895 Condition: Good

Description: The Church is log construction covered with clapboard siding. The building measures 65'9" by 44' and is constructed in a common rural Russian church plan, a rectangle with a semi-hexagonal apse. Built on a west-east axis, the building consists of a small porch with gable roof; a 15' square, two-story bell tower (erected over the vestibule) which is surmounted by an octagonal belfry, steep octagonal roof, onion dome and cross; the nave, topped with a four-sided pyramid roof which also supports a cupola with onion dome and cross; and the apse which has a hip roof. The third onion dome is located toward the east end of the building over the entrance to the altar (which is located in the apse). The primary windows are double-hung, 6/6. Four of the five windows located on the north and south elevations are this design.

History and Physical Changes: The Church was built in 1895-96. It replaced the Dormition of Assumption of the Mother of God Church (1849), also constructed of log, which replaced an earlier chapel built in 1841 by the Russian-American Company. The two earlier buildings were located west of the extant church building. The domes, roof, and crosses and belfry of the existing church have all received repairs. The openings in the belfry have been glazed, unglazed, louvered and boarded in these efforts. They are currently glazed.

The Church was designated a National Historic Landmark in 1970.

Outbuildings: None

Integrity: The Church has retained its integrity. Effort has been made to repair and maintain the structural soundness of the building without changing the exterior appearance.

Associated Historic Theme: Russian Orthodox Church

Appearance at End of Period of Significance: The Church appeared the same way it does today.

Contributing/Non-Contributing: The Church has retained its integrity and is a significant contributing property in the KTHD.

Historical Significance: The Holy Assumption of the Virgin Mary Russian Orthodox Church is the principal representation of Russian culture in southcentral Alaska. For the Kenaitze, it was the major institution for assimilation of western ways. It served as an educational, religious, administrative, and judicial center, and provided the Kenai region its first access to public health care. For decades this church was the only Orthodox Church on the Kenai Peninsula. It is the oldest standing Orthodox Church in Alaska, and a fine example of a Russian village church in the Pskov, (vessel or ship,) design. It is an integral property in the Russian Orthodox Church National Historic Landmark District.

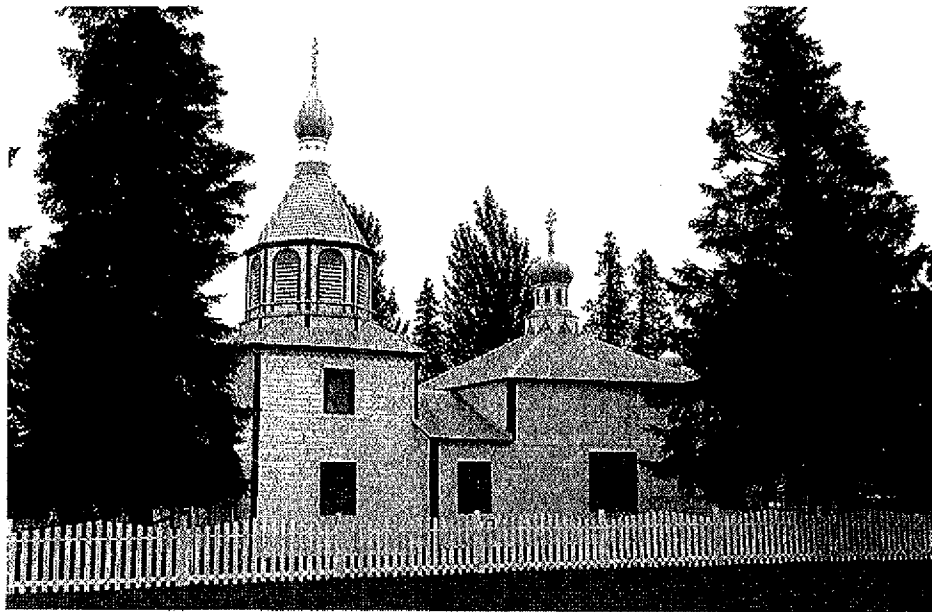


Figure 18. Holy Assumption of the Virgin Mary Russian Orthodox Church, south elevation, 1995. Photo by S.H. Elliott.

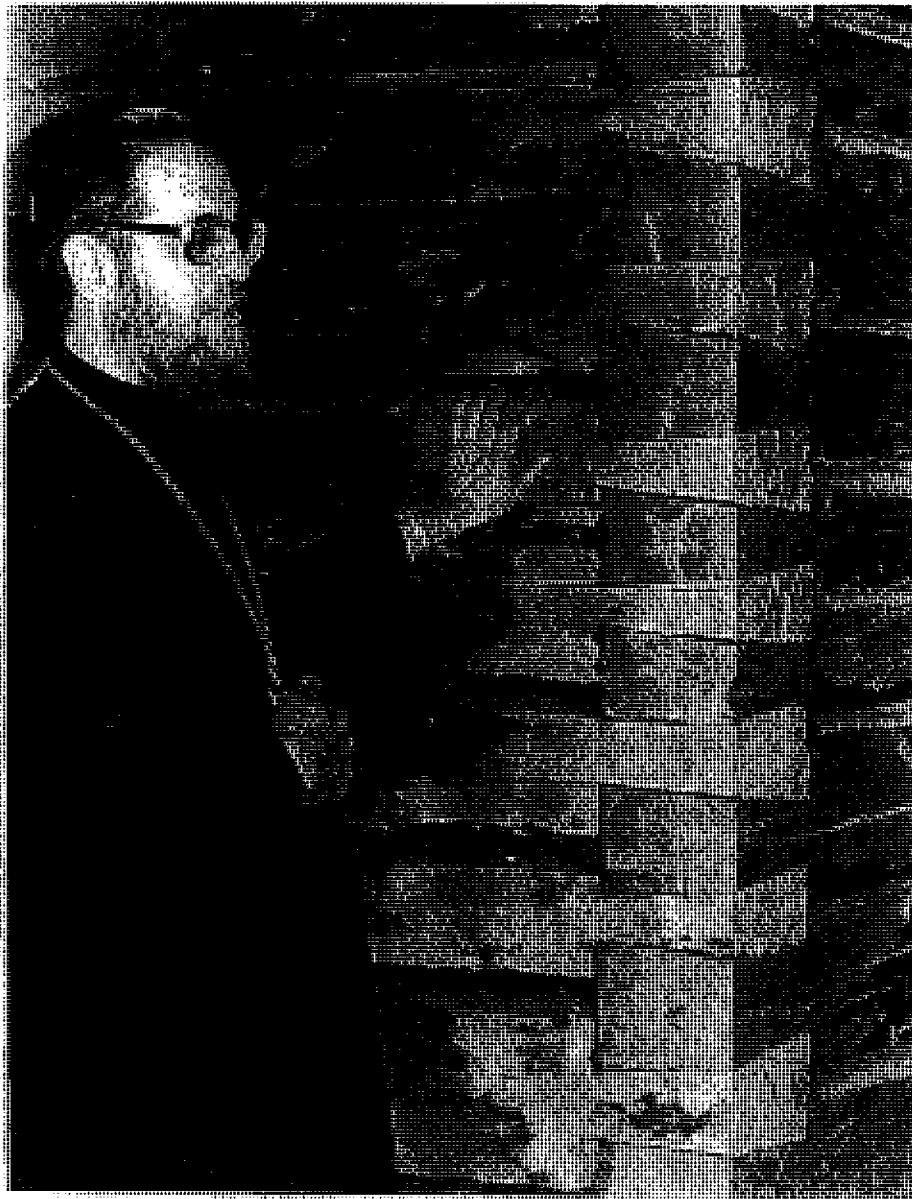


Figure 19. Holy Assumption of the Virgin Mary Russian Orthodox Church, interior, 1979. Note tight dovetail notching and star. The star was discovered under layers of wallpaper during renovation. The priest is Archpriest Macarius Targonsky. Photo courtesy of Mary Ford.

Map#: 4 AHRS#: KEN-061 Property Type: Other: Social

Property Name: Saint Nicholas Chapel

Address: None

Legal Description: That portion of USS 192, Mission Reserve, excluding leases

Date of Construction: 1906

Condition: Good

Description: The Saint Nicholas Chapel has a square plan, 19'10" on a side. It is built with hand-hewn, squared logs joined with tight dove-tailed notches. Wooden dowels secure the logs as well. The steep pyramid roof is covered with wood shingles. It meets in the center to support a short, octagonal tower surmounted with an onion dome holding a three-barred cross. A gable projects from each side of the roof; only the west gable is without a large two foot by three foot window. Two identical windows are located on the north and south elevations. The entrance is on the west facade.

History and Physical Changes: The Chapel was built in 1906, sited where the original (1849) Dormition of Assumption of the Mother of God Russian Orthodox Church once stood. The Chapel was constructed as a memorial to Father Igumen Nikolai, "the first resident priest at the Russian fort of Nikolaevsk,...and Makary Ivanof, his helper" (Gray: 1994). These men were instrumental in saving the lives of many Kenaitze by vaccinating them against smallpox during an epidemic that was sweeping the Peninsula in the 1840s. Father Nikolai died in 1867, and Ivanof in 1878. Both men and a third person, whose name was not recorded but is believed to be a monk, are buried beneath the Chapel (Ibid).

In 1973, the Kenai Historical Society replaced the log supports beneath the Chapel with concrete blocks. Five years later, insulation and code-required electrical and mechanical systems were added. Deteriorated window sash, sills, lintels, flashing and a door were replaced. The cross, which had blown down in a 1978 storm, was replaced in 1980. A steel armature was added to the building to eliminate the need for guy wires which had previously held the cross in place. In 1989, sagging timbers were realigned and bolted to new vertical half-logs placed at intervals on the interior. Rotting lower logs were also replaced at this time. Roof shingles were replaced in 1991 by volunteers from the Kenai Historical Society.

The Holy Assumption of the Virgin Mary Russian Orthodox Church holds memorial services in the Chapel and also a thanksgiving service on December 19, St. Nicholas Day.

The Saint Nicholas Chapel became a National Historic Landmark in 1970, and is a contributing property in the Russian Orthodox Church National Historic Landmark District.

Outbuildings: None.

Integrity: Rehabilitation efforts over the years have preserved the historic appearance of the Saint Nicholas Chapel.

Associated Historic Theme: Russian Orthodox Church

Appearance at End of Period of Significance: The appearance of the Chapel was very similar to the way it looks today.

Contributing/Non-Contributing: This property has retained its historic integrity and is a contributing property in the KTHD.

Historical Significance: The Saint Nicholas Chapel is significant for its association with the Russian Orthodox Church, Father Nikolai, founder of the parish, and his assistant and reader, Makarii Ivanov.



Figure 20a. Saint Nicholas Chapel, northeast corner, 1995. Photo by S.H. Elliott.

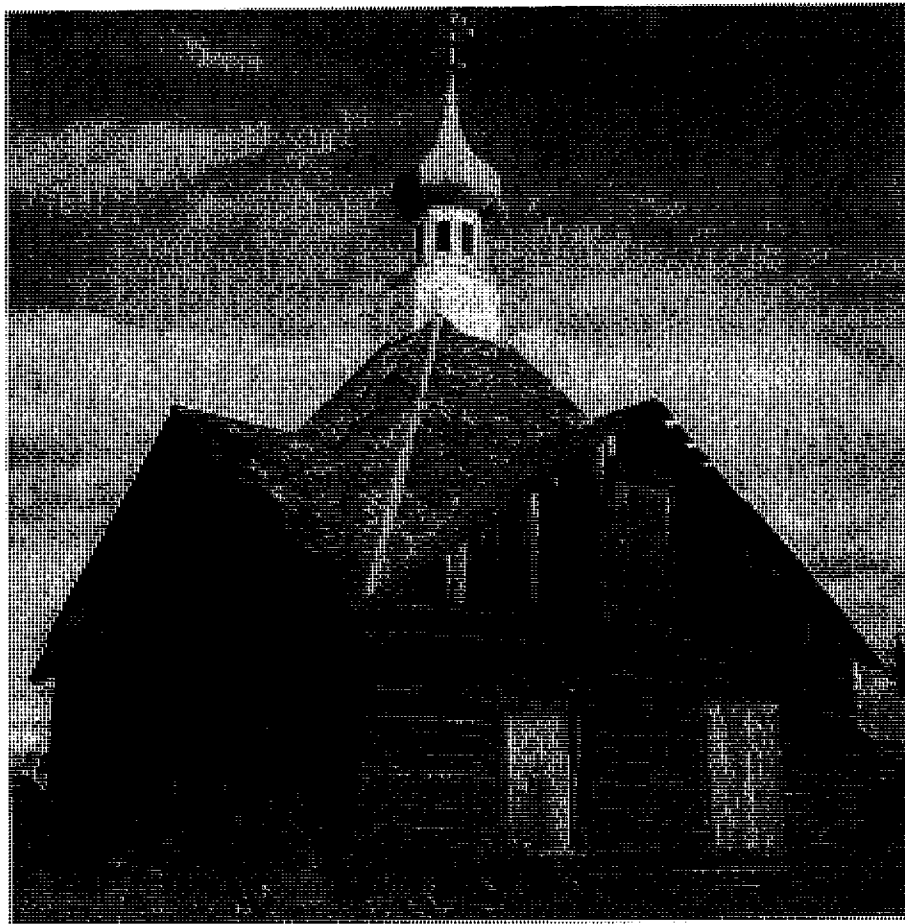


Figure 20b. Saint Nicholas Chapel, northeast corner, c1970s. Photo by Will Thompson, courtesy Mary Ford.

EARLY COMMUNITY BUILDING ERA, 1898-1925
*** KENAITZE SUBSISTENCE, 1900-1941**

Properties within the KTHD:

Edelmann/Petersen House and outbuilding, 1896
*Wilson House, c1912-1916
*Oskoldof/Dolchok Cabin, c1918
March House and outbuilding, c1918
Three Scandinavians' Cabin, 1918-1925
Cabin #3, c1918-1925
Miller Cabin, 1910/1930
Arness Cabin, 1925

Properties adjacent to KTHD boundaries:

Interlocked Moose Horn Club/Tomrdle House, c1900
<Hermansen/Miller House, c1916
Lindgren/Jones House, 1918
*Dolchok/Juliussen Cabin, c1922

Map#: 3

AHRS#: KEN-080

Property Type: Residence

Property Name: Edelmann/Petersen House

Address: 608 Petersen Way

Legal Description: Tract A-1A, Petersen Subdivision Addition
No. 3.

Date of Construction: circa 1896

Condition: Good

Description: Erected c1896, the original building was a simple rectangle on a timber post-and-beam foundation. Cedar shingles sheathed the gable roof. The building was constructed of hand-hewn square logs which were pegged together and chinked with burlap and moss. The logs were subsequently shingled for improved insulation. The windows were double-hung multi-pane.

The existing house has a cruciform floor plan. It is one-and-a-half story building with a two-story glassed portion in the south wing. The building measures 50' by 32' at the wide (southern) wing and 12'7" on the narrower, northern wing. Square-cut logs, some hand-hewn and some milled and hand-worked, are spiked and chinked with a commercial putty. Corners are dovetailed. The asphalt shingled ridges of the gable roof meet in the middle of the building. The building rests upon a concrete block foundation with a crawl space. Entry to the building is provided via an open gable porch facing west. The principal window styles are multi-pane fixed and double-hung, several with false mutins. Large picture windows are located on all sides of the second story and on the first level of the south elevation.

History and Physical Changes: Edwin Edelmann came to Alaska from Finland in 1873 at the age of 17. He worked as a miner, fisherman, hunter and trapper. In 1896 he married Devina Oskolkof and began building this house. Edelmann secured the logs by a scribed-log method: the top of a log was fitted tightly into a matching concave groove cut into the bottom of the log immediately above it. No nails were used in the construction of the house. The Edelmanns raised a large family and lived in the home for many years. As their family increased in size, the Edelmanns enlarged their home. The porch was added in 1925. The cedar roof shingles were covered with tin sheeting in the 1940s.

One of the eight Edelmann children continued to live in the house until early 1950. The building was then rented for several years and eventually sold to Alan and Jettie Petersen.

The Petersens moved to Kenai in 1946. Alan Petersen became Federal Marshall, and eventually one of Alaska's first legislators. Jettie Petersen and her sister, Enid McLane, taught school in Kenai for many years. Until 1954 the Petersens lived in the Marshall's house by the federal jail (located on Mission Street where the Toyon Villa Apartments now stand). When Mr. Petersen retired, they purchased the Edelman house (over the years, the spelling of Edelmann became "Edelman"). After Alan Petersen died in 1969, Jettie Petersen continued to live there with her sister. In 1975, they moved into a newly-constructed residence immediately west of the property.

By 1987, the Edelmann/Petersen House was in poor condition. James Arness, (Jettie Petersen's grandson), took the building apart, numbering the logs. A frame addition on the Inlet (south) elevation was removed. New logs were milled, but hand-worked to match existing logs. The house was then re-erected to resemble the original building, with the northern portion of the house most closely matching. The original interior log walls were used to build the new two-story portion on the south end of the building. The property is now used for commercial purposes.

Outbuildings: Four small log buildings, four small frame buildings, and a pole barn stood on the property until 1987, when they were removed by James Arness. Some were covered with shingles and others with tar paper. Several were originally constructed on the property and others were moved to the site from unknown locations. The two original Edelmann outbuildings (which may have been included in this grouping), were a horse barn and a toolshed. All but one of the outbuildings were removed from the Edelmann/Petersen property when the house was remodeled. None of these properties are extant, except for one cabin that was relocated to the north side of the intersection of Upland and Overland Streets. This cabin, although severely deteriorated, clearly displays the original workmanship of its dovetail joinery.

One outbuilding remains near the Edelmann/Petersen house. It is a small (11'9" by 11'9") cabin which sits to the north of the house. The cabin rests directly on the ground, and is constructed of round logs with flattened interior sides and dovetail corner notches. A plank door and a hole centered in the lower portion of the gable (south elevation), and a single multi-pane window on each of the west and east elevations are the only openings in the cabin walls.

The building is collapsing into the dugout root cellar over which it sits, due to extensive rot in the bottom logs. The collapse is so severe that the log wall section has separated from the plank gable end on the south facade. The outbuilding/cabin, although severely deteriorated, has received no exterior alterations, and maintains its historic integrity.

Integrity: The Edelmann/Petersen house does not retain its historic integrity according to Criterion C of the National Register. Although great care was taken in the remodeling, the massing of the building is significantly altered. The existing building is larger and noticeably greater in length than the original building. A new second level and new double-gable entry on the west elevation give the property a much different appearance from what it looked like during the Early Community Building Era. The appearance of the south elevation has also changed.

Associated Historic Theme: Early Community Building Era

Appearance at End of Period of Significance: By 1925 the Edelmanns had raised eight children, so it is likely that the house had been enlarged by then. The upper windows visible in the c1950s photograph may have been added to increase living space. The gable-roofed porch on the west elevation of the same photograph had also been added by 1925.

Contributing/Non-Contributing: Although associated with one of the historic themes of the KTHD, the building is non-contributing under Criterion C of the National Register, due to loss of its historic integrity.

Historical Significance: The Edelmann/Petersen House is significant as the oldest private residence in the District. Based on preliminary research, the property may also be significant under Criterion B of the National Register for its association with Alan and Jettie Petersen. Additional research is necessary in order to make this determination.

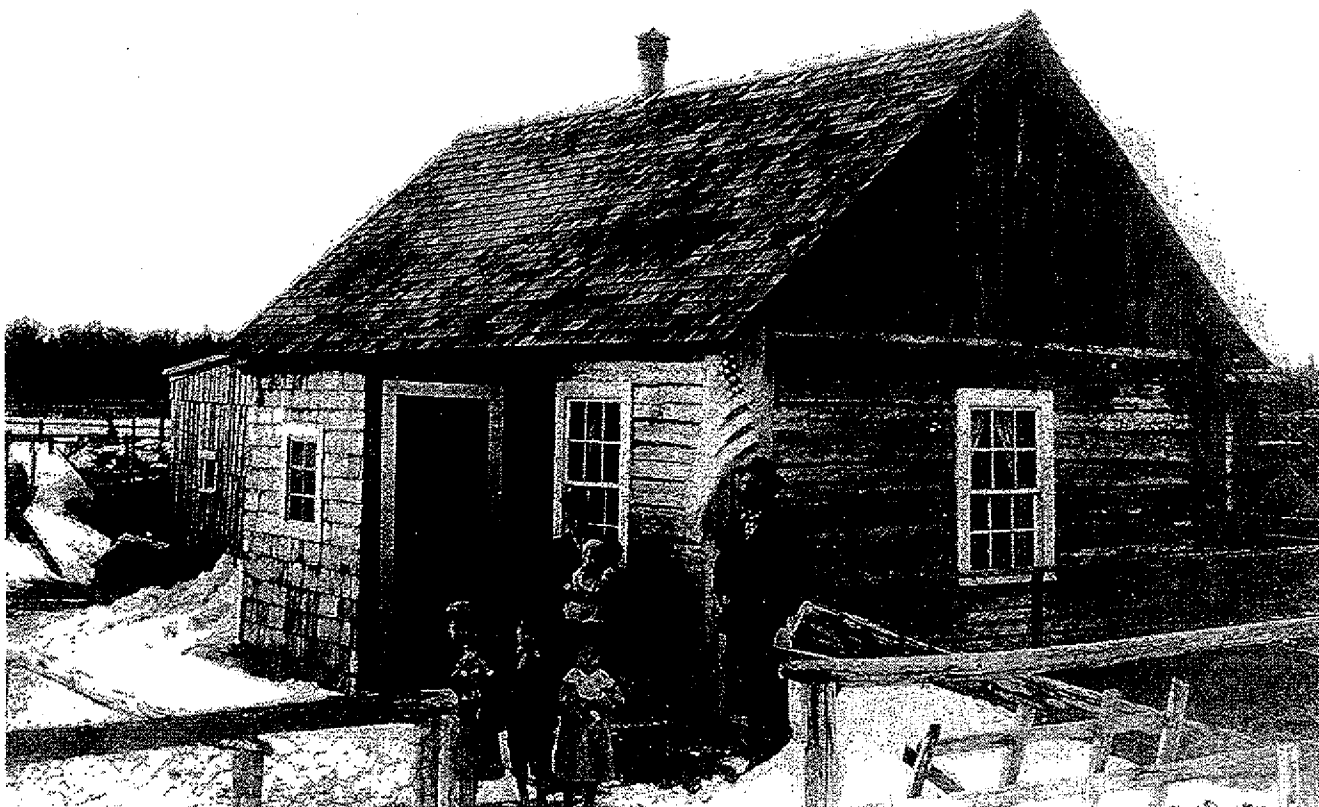


Figure 21. Edelmann/Petersen House, south and west elevations, c.1900. Photo courtesy Jim Arness.

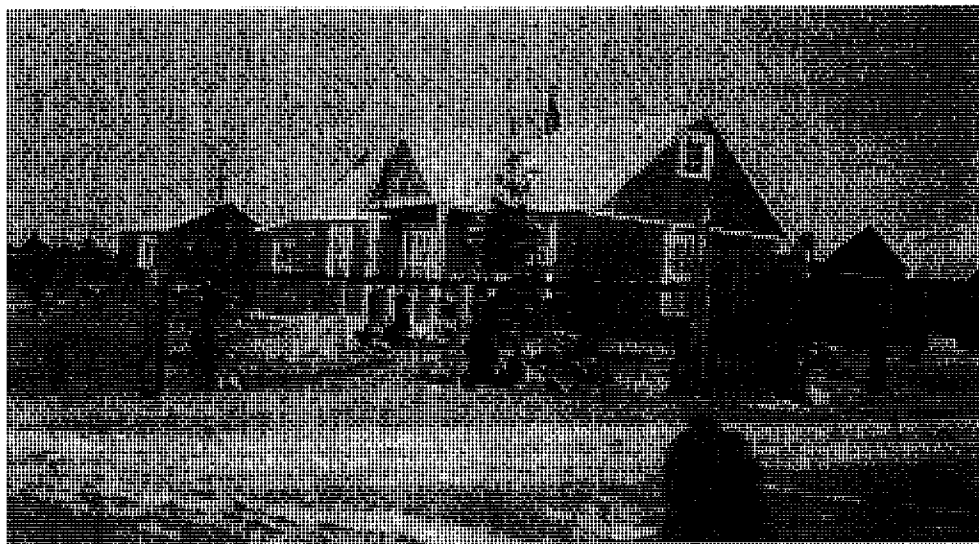


Figure 22. Edelmann/Petersen House, south and west elevations, c.1950s. Note gable-roofed porch on south elevation. Photo courtesy Jim Arness.

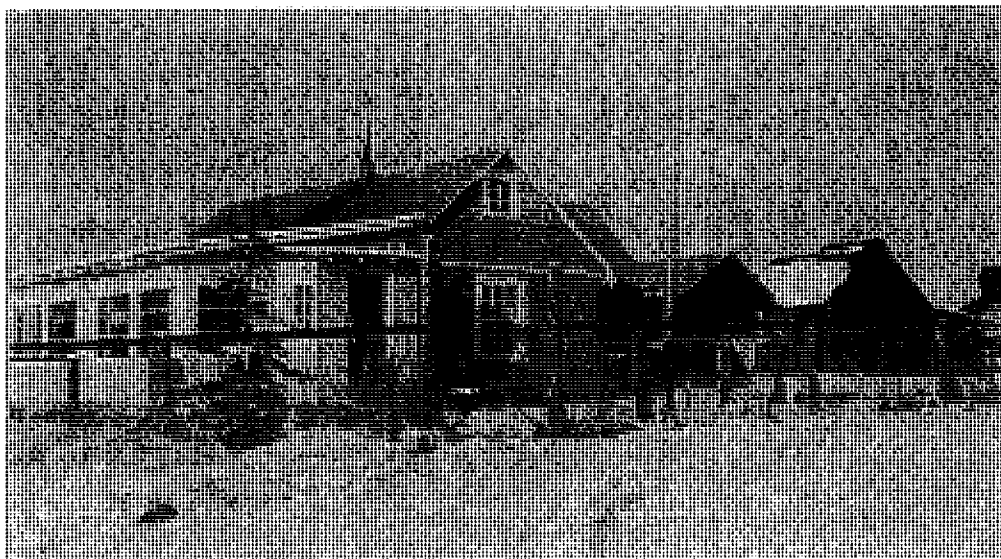


Figure 23. Edelmann/Petersen House, south and west elevations, 1962. Note enclosed porch on south elevation. Photo courtesy Jim Arness.

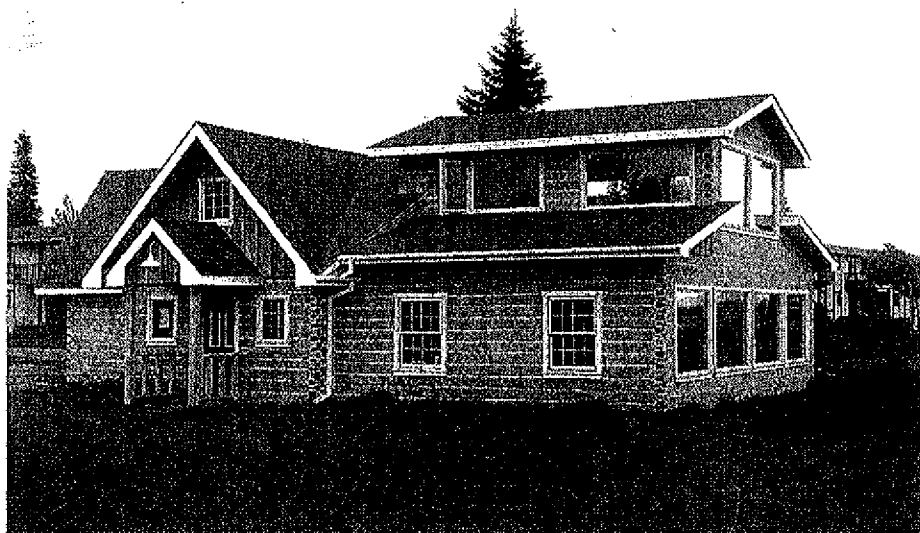


Figure 24. Edelmann/Petersen House, south and west elevations, 1995. The southern portion of building, the double gable porch, and second level were added in 1987. Photo by S.H. Elliott.

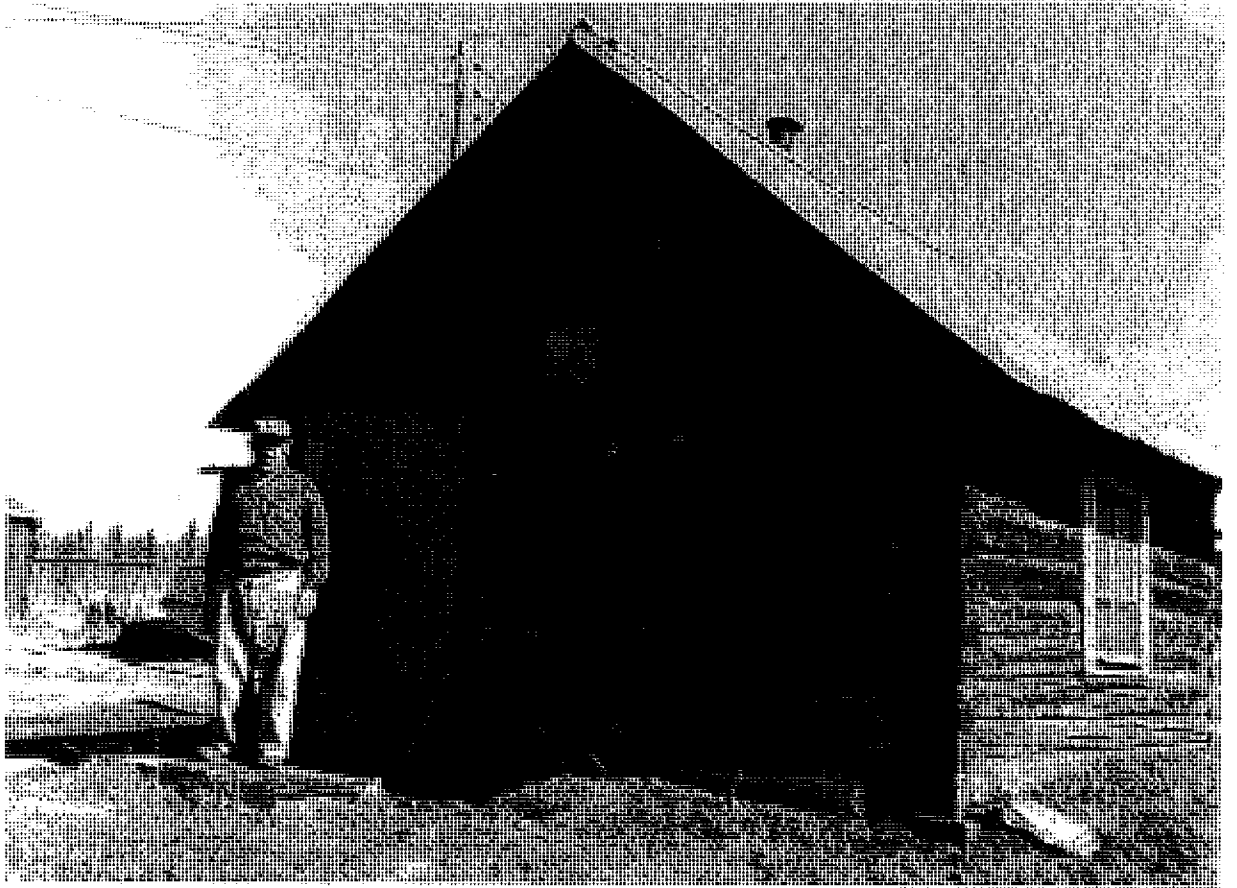


Figure 25. Outbuilding of Edelman/Petersen House, south and east elevations, nd. Tommy Foster standing in front of the cabin where he lived. Photo by Dolores D. Roguszka, courtesy Peggy Arness.



Figure 26. Outbuilding of Edelmann/Petersen House, south and west elevations, 1995. Photo by S.H. Elliott.

Map#: 5 AHRS#: KEN-264 Property Type: Residence

Property Name: Wilson House

Address: 508 Mission Avenue

Legal Description: Government Lot 37

Date of Construction: c1912-1916 Condition: Good

Description: The house is a T-shaped building, constructed primarily of squared logs. A twelve foot frame section lies on the north end of the residence. The log portion is supported by log floor stringers resting on log sills lying directly upon the ground. The frame portion has a frame foundation. The entire house is covered with horizontal lapped siding. The building measures 20' by 39'6" with 16' wings extending three and four feet past the main wall. The gable roof has both log and frame rafters and is sheathed with corrugated metal sheets. A flat-roofed section and open porch are located on the rear (west elevation). Decorative features include vertical planking in the gables and false plank shutters on all windows.

The house is well maintained and attractive. Gables are painted red, the siding white, and the trim red. A circular gravel drive is located on the facade (east elevation). The level site has several spruce and birch trees on the perimeter and a number of planters and flower areas throughout the grassed area.

History and Physical Changes: This property is thought to originally have been a post office and restaurant. Toward the middle of Kenai's Early Community Building Era, Paul Wilson, Sr. and his wife Katherine, purchased the building and raised a family there. Paul Wilson, Jr. and his wife Elizabeth also raised their eight children in the house. Elizabeth Wilson and Arthur Foss continue to occupy the home. These families all lived a subsistence lifestyle. Income may have come from cannery work or construction work when available.

Circa 1955, Arthur "Swede" Foss, extended the main gable at a lower level. He also added the twelve-foot frame section which is used as the kitchen. At the same time he added the flat-roofed section and porch located on the west elevation. Original small, multi-pane windows were replaced by Foss with the large multi-pane and double hung windows that exist today. Foss also dug a well to eliminate hauling water from a community well located on the bluff, south of the American Legion building.

Outbuildings: Outbuildings on the property include a banya built of 3" by 10" timbers and set low into the grade; a chicken coop which is no longer used; a frame structure used for wood storage, and a sixteen foot by twenty foot storage shed with rounded roof and plank siding. The latter two structures were moved onto the property during the last twenty years. The banya dates from the 1950s.

Integrity: The twelve-foot addition is in keeping with the style of the original residence, yet one can readily see where the addition begins. Although the building is larger than originally constructed, it remains in scale with other historic buildings in the district. Exterior materials are the same on both the original and new sections. The porch and flat-roofed addition are located on the rear elevation, and do not detract from the main elevation. The property maintains its integrity.

Associated Historic Themes: Early Community Building Era,
Kenaitze Subsistence

Appearance at End of Period of Significance: The house was a T-shaped building covered with horizontal lapped siding. It measured 27'6" in length and contained three rooms. Neither the twelve foot addition extending the main gable nor the rear addition/porch had been added.

Contributing/Non-Contributing: The property has maintained its integrity and is associated with two historic themes of the KTHD. It is a contributing property in the District.

Historical Significance: The building is one of the few remaining residences in Kenai that illustrates the themes of the Early Community Building Era and Kenaitze Subsistence.

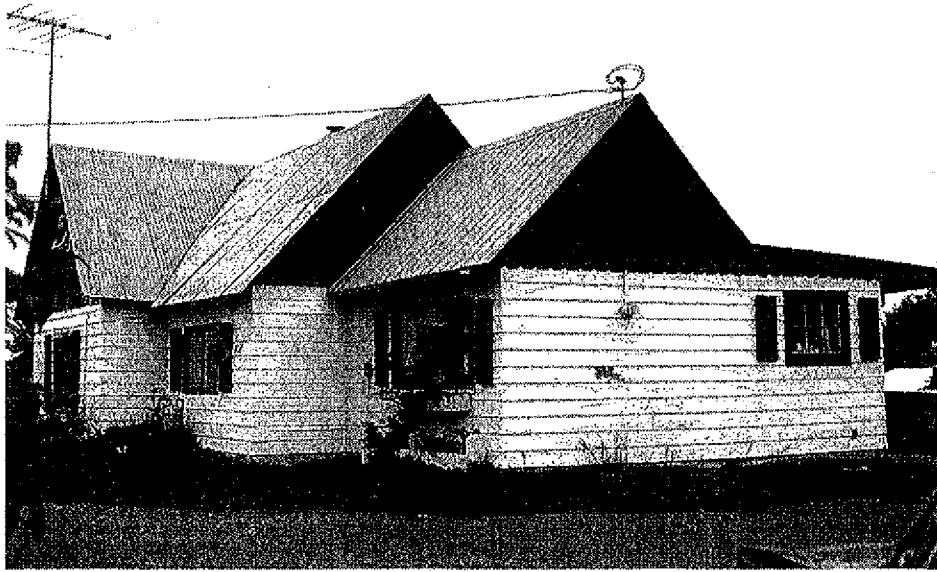


Figure 27. Wilson House, east and north elevations, 1995. Photo by S.H. Elliott.

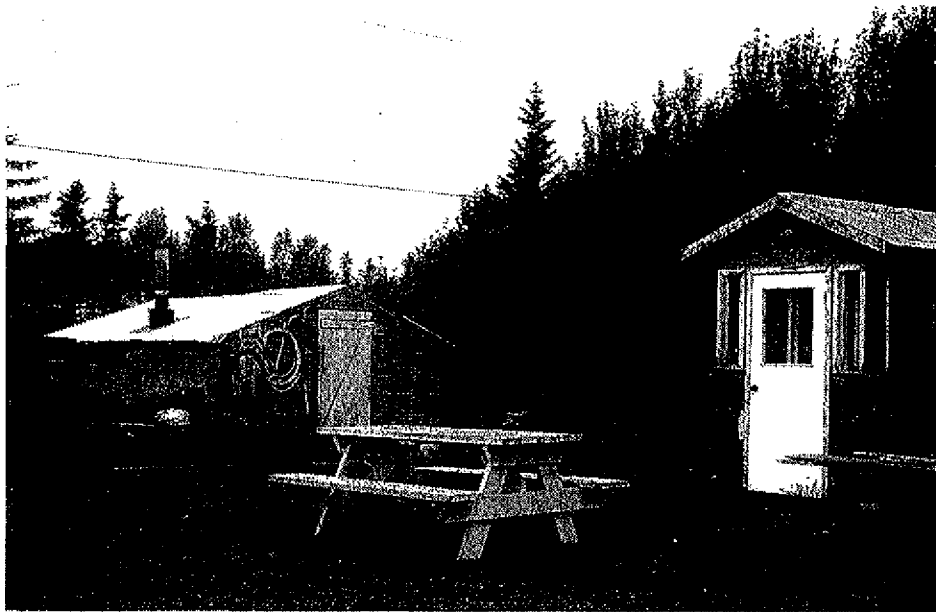


Figure 28. Outbuildings to Wilson House, east and north elevations, 1995. The banya (steamhouse) is on the left; wood storage structure on the right. Photo by S.H. Elliott.

Map#: 6 AHRS#: KEN-074 Property Type: Residence

Property Name: Oskolkof/Dolchok Cabin

Address: 604 Mission Avenue

Legal Description: Dolchok Subdivision, Lot 39A.

Date of Construction: c1918

Condition: Good

Description: The 17' by 24' cabin is constructed of hand-hewn square logs joined with dovetail notches. The wood shingled hip roof is surmounted by three large dormers that meet above the ridge line and provide the second floor fenestration. A twelve foot wide shed-roofed addition runs the length of the north elevation. The front door is located on the east end of this T1-11 plywood-sided addition. The door is flanked by a large single sash window with three lights. Similar windows are located on each side of the building. A single door provides entry to the west elevation of the addition.

History and Physical Changes: The cabin was built by John Oskolkof c1918. The logs were hewn, then temporarily erected to dry in the area just west of the Russian Orthodox Church Rectory. They were then dismantled and the cabin re-erected in its present location. Oskolkof, a fisherman by trade, raised his family in the cabin until the late 1930s. A root cellar with a turf-covered roof and double entry doors was dug in the ground east of the building. After Oskolkof died in the late 1930s, family members continued to live in the cabin.

The building was rented for several years and then purchased in the early 1940s by Alec and Margaret Wilson Wik as a family home. The house had no insulation and an annual chore was re-banking soil around the base of the house prior to winter. The Wiks hauled water from the community seepage well located in the bank of the bluff overlooking the inlet, until their neighbors, the Marches installed a pump in the March kitchen (KEN-263) and shared their good fortune.

Emil and Margaret Wik Dolchok lived in the home from c1945 until the early 1980s. Emil earned his living by fishing. He built the large, shed-roofed addition to the property in approximately 1950 with lumber salvaged from dismantled cannery fish traps. Scavenging lumber was a common practice in Kenai prior to the 1960s, used by many community members to augment their construction supplies. The Dolchoks installed electricity, and later added running water and indoor plumbing. In 1950, when the City of Kenai was incorporated, Emil Dolchok served on the first City Council.

The current owner, Michael Carpenter, purchased the house from the Dolchoks. He added the flat-roofed addition located on the western

end of the 1950 addition. He also built the upper deck, exterior stairs and the door located in the western dormer. It is likely that he also added the dormer facing the Inlet (south). The building is currently rented as housing. The property's facade displays an attractive fenced garden and spruce trees. A boardwalk leads to the door from the gravel drive, and the remainder of the level site is grass-covered.

Outbuildings: Three outbuildings, moved to the site from other locations, are located immediately adjacent to the right elevation of the cabin. They include a structure of squared logs with tight dovetail notches and shed roof; a small structure with vertical planking and low gable roof; and a structure with square logs with lapped notches and low gable roof. The last property is dug several feet into the grade and has a ridgeline-to-ground height of only six feet. It may originally have been a banya (sauna). All three structures are used for storage.

Integrity: Exterior changes have not compromised the appearance of the building. The large addition on the north elevation has a low profile and does not compete with the original log building. Although the south dormer may have been added, it is compatible in design, materials and scale with the other two dormers. Other additions lie on the rear elevation and do not detract from the principle view of the residence. The building maintains its integrity.

Associated Historic Themes: Early Community Building Era,
Kenaitze Subsistence

Appearance at End of Period of Significance: The shed-roofed addition, exterior stairs and second story door had not been constructed in 1925. It is possible that the dormer facing south also did not exist. The cabin probably had different windows.

Contributing/Non-Contributing: The Oskolkof/Dolchok Cabin has maintained its integrity and is associated with two of the District's historic themes. It is a contributing property in the KTHD.

Historic Significance: The Oskolkof/Dolchok Cabin is one of the few remaining historic residences in Kenai that illustrates the themes of both the Early Community Building Era and Kenaitze Subsistence.



Figure 29. Oskolkof/Dolchok Cabin, east and south elevations, 1995.
Photo by S.H. Elliott.

Map#: 7 AHRS: KEN-263 Property Type: Residence

Property Name: March House

Address: 510 Mission Avenue

Legal Description: Dolchok Subdivision, Lot 38A

Date of Construction: c1918

Condition: Good

Description: The frame house measures 28'3" by 57'3". The central section has a gable roof. Large shed-roofed portions are constructed on the front (east) and rear elevations. Vertical wood siding is used on the first floor and horizontal planking on the upper level. Primary windows are a single sash containing a fixed-glass pane and an adjacent casement window.

History and Physical Changes: The original portion of the house was built c1918 by Hayward "Charlie" and Elizabeth March. Charlie March kept horses and performed farming duties for the adjacent federal landowner. Their son, Clarence, and his wife Pauline moved into the house in 1942 after Elizabeth March died, and lived there with Charlie March until the house was sold to Fred and Charlotte March Korpinen. The Korpinens lived there until 1976. Tom Harvey bought the property in 1978, and operated a pre-school there until 1981. Mr. Dunlap then purchased the building, continuing to operate the pre-school until the mid 1980s. The property is now a private residence.

In 1968 a new concrete sill foundation replaced the original log post-and-beam foundation and the original windows were either replaced or relocated. The large window on the south elevation was created from four original, small multi-pane windows. New windows on the north elevation were also added in 1968. The eleven-foot deep front addition was constructed in 1971 as an attached garage, but became living space the following year. The rear addition was built about ten years later by "Swede" Foss for Mr. Dunlap. It measures twenty feet deep.

Outbuildings: The single outbuilding is a hewn-log structure covered with wood planking. It was constructed with the original house. It has a steep gable roof covered with flattened five gallon tin cans and a shed addition on the south elevation. The structure measures 25' by 22'9". It has been used for storage, a residential garage and a commercial garage. It is currently used for storage. Although in poor condition, the structure has maintained its historic integrity.

Integrity: Based on Criterion C of the National Register, the March House has lost its historic integrity. This is due primarily to the large shed-roofed additions which obscure the shape of the original building. These additions and large-pane windows give the building a contemporary appearance and size that are not compatible with the other historic properties in the KTHD. The property's workmanship and materials have also been compromised by replacement and/or relocation of the original windows. The outbuilding, however, does retain its integrity.

Associated Historic Theme: Early Community Building Era

Appearance at End of Period of Significance: The appearance of the property in 1925 could not be determined. It is known that the house was much smaller then, and that the two large additions had not yet been constructed.

Contributing/Non-Contributing: Because the March House has not retained its historic integrity based on National Register standards, it is not a contributing property in the KTHD.

Historic Significance: The March House is one of the few surviving residences in Kenai from the Early Community Building Era.



Figure 30. March House, south elevation, 1995. Photo by S.H. Elliott.

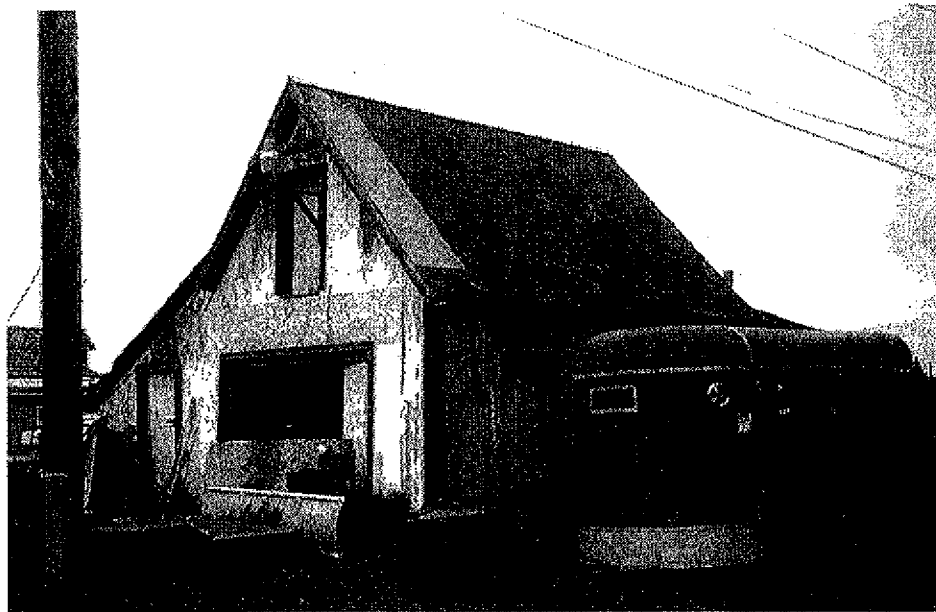


Figure 31. Garage, March House, east and north elevations, 1995. Note flattened five gallon cans on roof. Photo by S.H. Elliott.

Map#: 19 AHRS#: KEN-268 Property Type: Residence

Property Name: Miller Cabin (located at "Fort Kenay")

Address: 1104 Mission Avenue

Legal Description: That portion of USS 192 leased to the City of Kenai per lease 25

Date of Construction: 1910/1930

Condition: Good

Description: The Miller Cabin measures 29'3" by 18'7". It has vertical board and batten gable siding; a fixed glass, multi-pane peak window; plank door and a single, double-hung 6/6 window. Corrugated metal sheets cover the gable roof. The squared logs are joined with saddle notches. It is the building closest to Overland Street within the fenced area.

History and Physical Changes: The Miller Cabin was built in Kasilof in 1910 by Emil Ness. In 1930, the logs were numbered, dismantled and barged to Kenai, and the building was re-erected on the east side of Overland Street (near the present day USFWS property). In 1937, the family of Gus Ness, (Emil's brother), sold the cabin to Ward Showalter, Sr. who turned it over to George Miller in the 1940s. Miller, who later became a Kenaitze Chief, occupied it with his family for many years. Rex Williams was the next owner. Williams added large doors on one end and used the building as a shop and storage area. His widow donated the structure to the Kenai Historical Society circa 1975, and it was moved to "Fort Kenay" in 1978.

Outbuildings: None

Integrity: Although its original exterior appearance has been restored, it is a moved building within an artificial grouping, and does not retain its original location and setting. Because of this, the property has lost its historic integrity based on Criterion C of the National Register.

Associated Historic Theme: Early Community Building Era

Appearance at End of Period of Significance: The building appeared the same as it does today.

Contributing/Non-Contributing: Because the Miller Cabin has not retained its historic integrity according to National Register standards, it is not a contributing property in the KTHD.

Historic Significance: The Miller Cabin is one of the few remaining log cabins constructed on the Kenai Peninsula during the first part of the twentieth century. Although built in Kasilof, the cabin is similar in scale, size, design and materials to properties constructed in Kenai during the Early Community Building Era.



Figure 32. (Left to right) Cabin #3, Miller Cabin, both located at "Fort Kenay", south elevation, 1995. Photo by S.H. Elliott.



Figure 33. Miller Cabin, 1978. Cabin being moved to present location behind "Fort Kenay"; Roger Meeks, Kenai Historical Society at left, foreground. View shows the present south and east elevations. Photo courtesy Mary Ford.

Map#: 20 AHRS#: KEN-265 Property Type: Residence

Property Name: Arness Cabin (located at "Fort Kenay")

Address: 1104 Mission Avenue

Legal Description: That portion of USS 192 leased to the City of Kenai per lease 25

Date of Construction: 1925

Condition: Good

Description: The Arness Cabin measures 26' by 16'10" and is constructed of squared logs with dovetail joinery. It has a rectangular plan and a metal gable roof. One plank door and a single double-hung window are cut into the west elevation. A boarded door opening and two window openings are located on the north elevation. The Arness Cabin is sited closest to "Fort Kenay".

History and Physical Changes: The residence was built in 1925 on the bluff just east of what is now Riverview Road. Successive owners have been Mr. Lindel, Irving Goldstein, and Peggy and James Arness who purchased it in 1948. The Arnesses are long-time Kenai residents who homesteaded in the area and have served the community in various capacities including Chamber of Commerce Manager (Peggy) and Borough Assemblyman (James).

The Arness family made a number of improvements and additions to the small building. They installed indoor plumbing, converted the porch into a kitchen, and added a second level half-story and a first floor addition. These additions were removed in the 1960s just prior to moving the Cabin to the "Fort Kenay" complex. The Arness Cabin, in addition to being used as a residence, housed Kenai's first kindergarten and was also used temporarily for Mormon Church services.

Outbuildings: A log cache is associated with the cabin.

Integrity: Although its original exterior appearance has been restored, it is a moved building within an artificial grouping, and does not retain its original location and setting according to Criterion C of the National Register.

Associated Historic Theme: Early Community Building Era

Appearance at End of Period of Significance: The building appeared approximately the same as it does today.

Contributing/Non-Contributing: Because the Arness Cabin has not retained its historic integrity, it is not a contributing property in the KTHD.

Historic Significance: The building is one of few remaining log cabins constructed on the Kenai Peninsula during the early twentieth century. Although built in Kasilof, it is similar in scale, size, design and materials to properties built in Kenai at the same time.

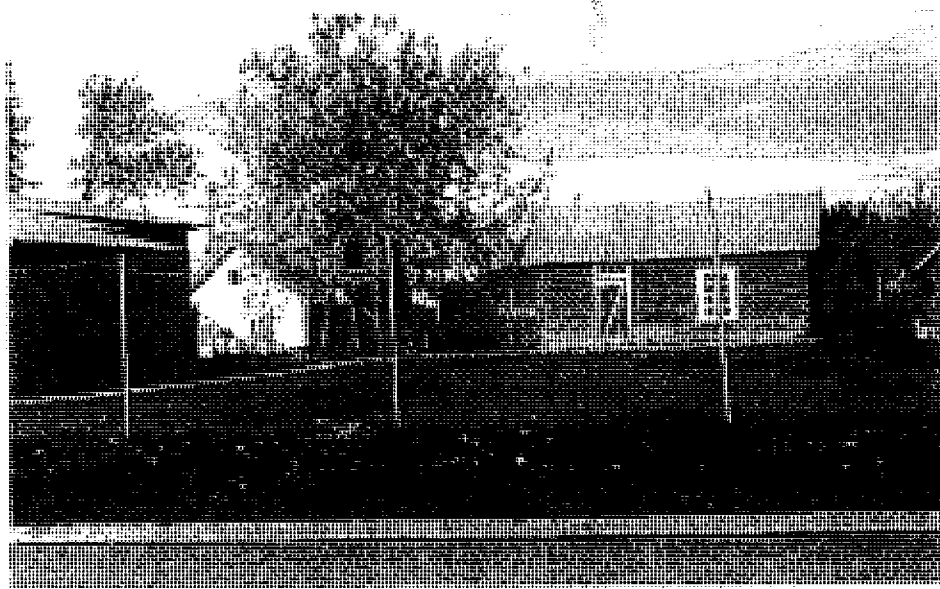


Figure 34. Left to right: Arness Cabin, east elevation; cache, Parish House, "Fort Kenay," 1995. Photo by S.H. Elliott.

Map#: 21 AHRS#: KEN-266 Property Type: Residence

Property Name: Three Scandinavians' Cabin
(located at "Fort Kenay")

Address: 1104 Mission Avenue

Legal Description: That portion of USS 192 leased to the City of Kenai per lease 25

Date of Construction: unknown

Condition: Good

Description: The cabin is one story and is almost square in plan, measuring 16' by 14'6". It is built of squared logs with dovetail notches, and wooden pegs were also used in its construction. The gable roof is covered with corrugated metal. A plank door and paired, four-pane windows are located in the gable-end wall. Vertical board-and-batten planking covers the gable. The cabin is located immediately north of the Arness Cabin (KEN-265).

History and Physical Changes: The history of this building is not known, but there appears to have been no alterations.

Outbuildings: None

Integrity: This building was moved from its original site into an artificial grouping of properties, and does not retain its integrity of location and setting according to National Register standards.

Associated Historic Theme: Early Community Building Era

Appearance at End of Period of Significance: The building most likely appeared the same as it does today.

Contributing/Non-Contributing: Because the Three Scandinavians' Cabin has not retained its historic integrity according to Criterion C of the National Register, it is not a contributing property in the KTHD.

Historic Significance: The building is one of few remaining log cabins that were constructed on the Kenai Peninsula during the early twentieth century. Although its construction date is not known, it is compatible in scale, size, design and materials to properties built in Kenai during the Early Community Building Era.

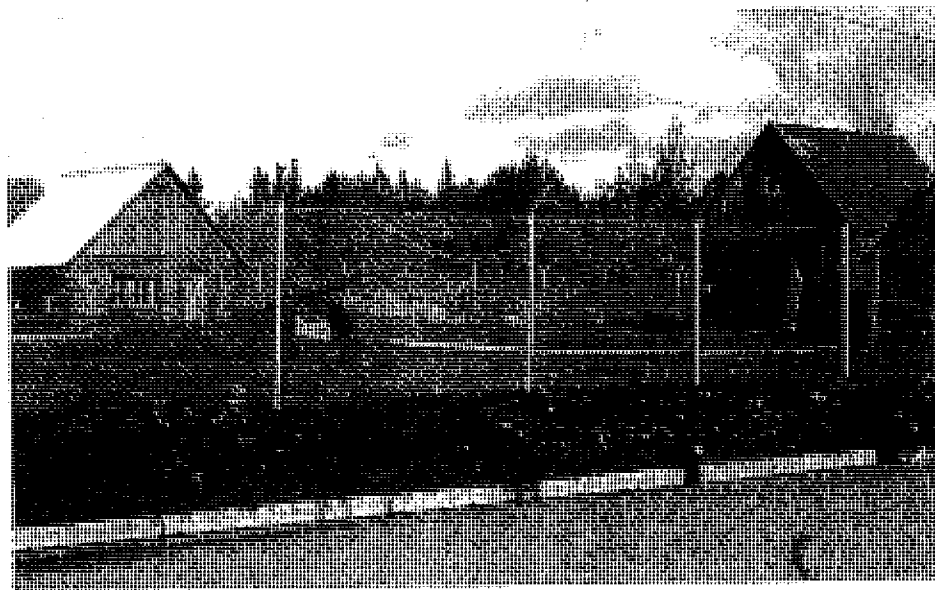


Figure 35. Three Scandinavians' Cabin, east elevation, (left); Miller Cabin, south elevation (right). Photo by S.H. Elliott, 1995.

Map#: 22 AHRS#: KEN-267 Property Type: Residence

Property Name: Cabin #3 (located at "Fort Kenay")

Address: 1104 Mission Avenue

Legal Description: That portion of USS 192 leased to the City of Kenai per lease 25

Date of Construction: unknown

Condition: Good

Description: The floor plan of Cabin #3 is square with 17'3" sides. Similar in detail to the Arness, Three Scandinavians' and Miller Cabins, it is constructed of squared logs with dovetail joints. It has a plank door, and the gable is board-and-batten. The door is set in an unusually wide frame. A fixed, multi-pane window is located in the gable peak. Cabin #3 lies immediately west of the Miller Cabin (KEN-268).

History and Physical Changes: The history of this building is not known, but it does not appear to have been altered.

Outbuildings: None

Integrity: Cabin #3 was moved from its original site into an artificial grouping of properties, and does not retain its integrity of location and setting according to Criterion C of the National Register.

Associated Historic Theme: Early Community Building Era

Appearance at End of Period of Significance: The building very likely appeared the same as it does today.

Contributing/Non-Contributing: Because Cabin #3 has not retained its historic integrity, it is not a contributing property in the KTHD.

Historic Significance: The building is one of few remaining log cabins that were constructed on the Kenai Peninsula during the first part of the twentieth century. Although its construction date is not known, it is compatible in scale, size, design and materials to properties built in Kenai during the Early Community Building Era.

(Cabin #3, 1995, pictured in Figure 32.)

Map#: B AHRS#: KEN-279 Property Type: Residence

Property Name: Hermansen/Miller House

Address: 605 Main Street

Legal Description: Original Townsite, Lot 10, Block 19

Date of Construction: c1916

Condition: Good

Description: The one-and-a-half story frame residence has a gable roof and a shed addition running the length of the north elevation. One entry door, wood with oval glass, is located on the west elevation. A second entrance, located on the south elevation, consists of a single door flanked by large, fixed glass windows. The south elevation is also distinguished by a deck protected by a deep roof overhang. Primary windows are large fixed-pane with metal frames and metal (false) shutters. Vinyl siding with cornerboards covers the building. The site is level and grass-covered, with a gravel parking lot on the northern portion.

History and Physical Changes: Considered to be the oldest frame building in Kenai, the Hermansen/Miller House has had many uses in its eighty-year existence. It was built c.1916 by Martin Updahl who used rough planking secured from Libby's Cannery for its construction. He also built the furniture and interior cabinets. (Updahl, a Norwegian changed his name to Hermansen soon after settling in Kenai). He and his wife, Fedora Peterson Hermansen, raised their family in the residence and lived there until 1939. Several large vegetable gardens and rabbit and chicken coops existed during their occupancy.

Hermansen constructed the shed addition on the north side of the house in 1925, and added running water to the building at the same time. The original ancillary structure that Hermansen built on the bluff side of the house was a combination woodshed, meathouse, carpentry shop and coal shed. It was constructed so well he was able to convert it into a second residence. Hermansen worked as a fisherman, ship's carpenter, miner and watchman for Libby's Cannery (which later became Columbia Wards). A jack-of-all-trades, he helped build many Kenai homes and is known to have remodeled the Oscar Gill House in Anchorage.

The Hermansen family rented out the building until 1950 when they sold to a person named Lemon, who briefly ran a small grocery in the former residence. When it became Kay's Diner the same year, meals and ice cream were served downstairs and beds rented upstairs. In 1951, Louisa and Fred Miller purchased the store. She operated an ice cream parlor on the lower level and continued to rent out beds upstairs. Concurrently, Miller operated the local post office and allowed the Catholic Church to hold mass in the ice cream parlor until 1956, when

the Catholic Church was built. Later, the Millers rented the upper floor of the property to a doctor who operated Kenai's first hospital/clinic in the building. The Millers subsequently lived in the building for one year, then rented rooms again during their last years of ownership. Currently the property is being renovated into an office for rental cabins located on an adjacent lot.

Alterations include replacement of the original root cellar and fir piling foundation with a concrete block basement; addition of a dormer (since 1979); and replacement of the original multi-pane windows with large single panes. The simple deck running the length of the south elevation replaces a former hip-roofed bay. The large dormer was added within the last twenty years, and vinyl siding covers the original painted wood shingle siding. The building's orientation has also been altered by replacing a window with a door and a door with a window.

Outbuildings: A metal storage shed is the only outbuilding.

Integrity: Because the original appearance of the Hermansen/Miller House has been significantly changed by numerous alterations, the property does not retain its historic integrity.

Associated Historic Theme: Early Community Building Era

Appearance at the End of Period of Significance: The building did not have a dormer or deck; it had small, multi-pane windows, and was covered with painted wood shingles.

Contributing/Non-Contributing: Although associated with one of the historic themes of the District, Hermansen/Miller House has lost its historic integrity, and would not be a contributing property if located within the KTHD.

Historical Significance: The property is one of few remaining early Kenai residences from the Early Community Building Era, and is considered the first frame building constructed in Kenai.

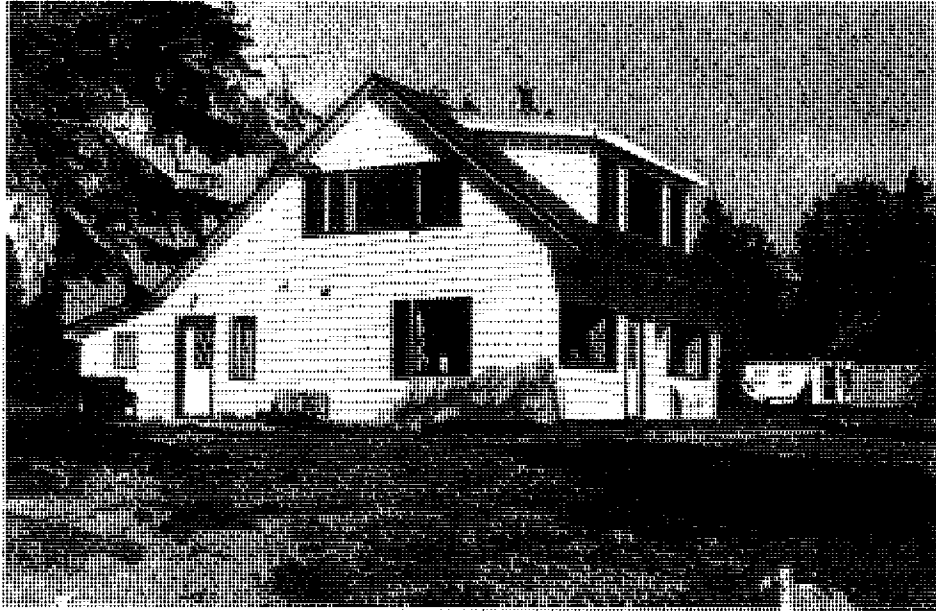


Figure 36. Hermansen/Miller House, west and south elevations, 1995.
Photo by S.H. Elliott.

Map#: C AHRS#: KEN-275 Property Type: Residence

Property Name: Lindgren/Jones House

Address: 412 Overland Street

Legal Description: Tract B, Government Lot 12

Date of Construction: 1918

Condition: Poor

Description: The house is an large one-and-a-half story building measuring 31' by 28'. The structural framework is wood timbers which rest on a concrete block basement. Wood shingles cover the building. The gable roof is punctuated by a wide shed-roofed dormer with three 6/6 windows facing the inlet. An open porch with shed roof is centered on the facade. The single door is flanked by large multi-pane windows. An eight-foot long shed covered with T1-11 is constructed on the rear elevation.

History and Physical Changes: Victor Sanders built the hewn-log house in 1918 for Fred "Dutch" Withers. The wood is fir piling taken from dismantled fish traps. Cannery traps were dismantled after each fishing season prior to freeze up. If the canneries did not collect the wood quickly enough, local residents considered the lumber fair game to retrieve for their own purposes.

Withers lived in the house for almost ten years before selling to Siegfried Lindgren. Lindgren, a commercial fisherman, steam engineer, pile driver operator and jack-of-all-trades, raised his family in the residence for twenty years, from 1927 to 1945. Lindgren sold the property to Vince Stephans, owner of the general store (which preceded the Kenai Commercial Company store [KCC]). After Stephan's death in 1948, the house was sold to Helen and Cecil Jones who began operation of the KCC store. In addition to operating the store, Helen Jones was a nurse and provided most of the health care for the Kenai area for many years.

The rear shed was built by Lindgren and enlarged by later owners. The existing basement was added some time after 1945, replacing the original root cellar. Known as "the nicest house in Kenai" until the 1950s, it is currently unoccupied.

Outbuildings: The small log building which lies southeast of the Lindgren/Jones House was originally located on the Edelmann/ Petersen property. Moved in the late 1980s, it is one of only two surviving outbuildings from this property. The cabin measures seven feet by nine feet, constructed of square logs with dovetail joinery. It is in severely deteriorated condition, and unoccupied.

Integrity: Although in poor condition, the residence has retained its original exterior appearance and has historic integrity.

Associated Historic Theme: Early Community Building Era

Appearance of End of Period of Significance: The building was in good condition, but otherwise looked the same as it does today.

Contributing/Non-Contributing: The building retains its historic integrity and is associated with an historic theme of the District. It would be a contributing property if located within the boundaries of the KTHD.

Historical Significance: The building is one of very few remaining early Kenai residences, and the largest residence dating from that time period.



Figure 37. Lindgren/Jones House, south and east elevations, 1995.
Photo by S.H. Elliott.



Figure 38. Lindgren/Jones House, south and west elevations, 1995. The small gable-roofed building to the northwest of the Lindgren/Jones House is an outbuilding of the Overland RV Park which is located adjacent to the residence. Photo by S.H. Elliott.

Map#: A AHRS#: KEN-277 Property Type: Other: Social

Property Name: Interlocked Moose Horn Club/Tomrdle House

Address: 904 Cook Avenue

Legal Description: Original Townsite, Lot 25, Block 16

Date of Construction: early 1900s/1957 moved Condition: Good

Description: The building has a rectangular plan measuring approximately 20' by 49'. An elevated, enclosed gable entry on the west facade is reached by an open porch. A short gable wing is located on the southeast corner and a shed addition attached to the northwest corner. The walls are constructed with hand-hewn, three-sided logs connected with wood pegs and dovetail joints. Stone facing covers the entry, basement stairs and various areas of the exterior walls. A roof structure of rough-cut timber holds up a wood-shingled gable roof with skylights. Enclosed entrances to the basement are located on the southwest and northwest building corners. The rear gable is sheathed with board and batten in which is located a narrow door (no stairs).

History and Physical Changes: Built by Andrew Berg sometime in the early 1900s, the property was originally sited on the bluff. Berg, a big game guide and a fish commissioner, operated the Interlocked Moose Horn Club in the building (and may have also lived in the building). In 1908, the federal government passed a law stating a non-resident hunter could only hunt with a registered Alaskan guide. Berg was such a registered guide, and Kenai soon became a center for big-game outfitting. The Interlocked Moose Horn Club was a popular stopping place for hunters and acquired a large membership.

The building was moved to its present location in the 1940s by the Monfer family. The Monfers operated a dance hall, movie theater and candy store in the building. George Testor purchased the property from the Monfers and used the building for a church. Reverend Testor, also a carpenter, added to the building by attaching a portion of an old cabin to it. This may be the wing in the southeastern corner. During all this time, the building rested on skids placed directly on the ground, and was without a permanent foundation.

In 1957, the Reverend Carl and Betty Glick purchased the property to begin an Assembly of God Mission. In the summer of 1959 the building was jacked up 26" and a poured-concrete foundation constructed under it. Enclosed basement entrances were added at the same time. The distinctive entry, with its uneven sloping roofline, was in place by 1961. Several large spruce surrounded the church.

Thom and Kathy Tomrdle bought the building in 1977. At that time the logs were covered on the interior with burlap and dirt, and oilcloth and newspaper were used as roof insulation. The Tomrdles changed windows, re-roofed, and added extensive rockwork to the building in 1978. The building is currently their residence.

Outbuildings: The associated building is a shop built of squared logs lapped on their corners and measuring nineteen feet square. The gable roof is covered with composition shingles. The deep overhang on the west elevation protects two sets of double doors. Fixed, multi-pane windows are used throughout the building. The shop was moved from its bluff location circa 1980. This property may be Ray Gee's log homestead, originally located behind the Petterson House at 1007 Overland Street.

Integrity: Because the Interlocked Moose Horn Club has received extensive alterations that obscure its original design, it has lost its historic integrity according to Criterion C of the National Register.

Associated Historic Theme: Early Community Building Era

Appearance at the End of Period of Significance: Unknown

Contributing/Non-Contributing: Although associated with a District theme, the Interlocked Moose Horn Club has lost its historic integrity, and would not be a contributing property if it were located within District boundaries.

Historical Significance: This property was one of the first social clubs associated with Kenai's Early Community Building Era.

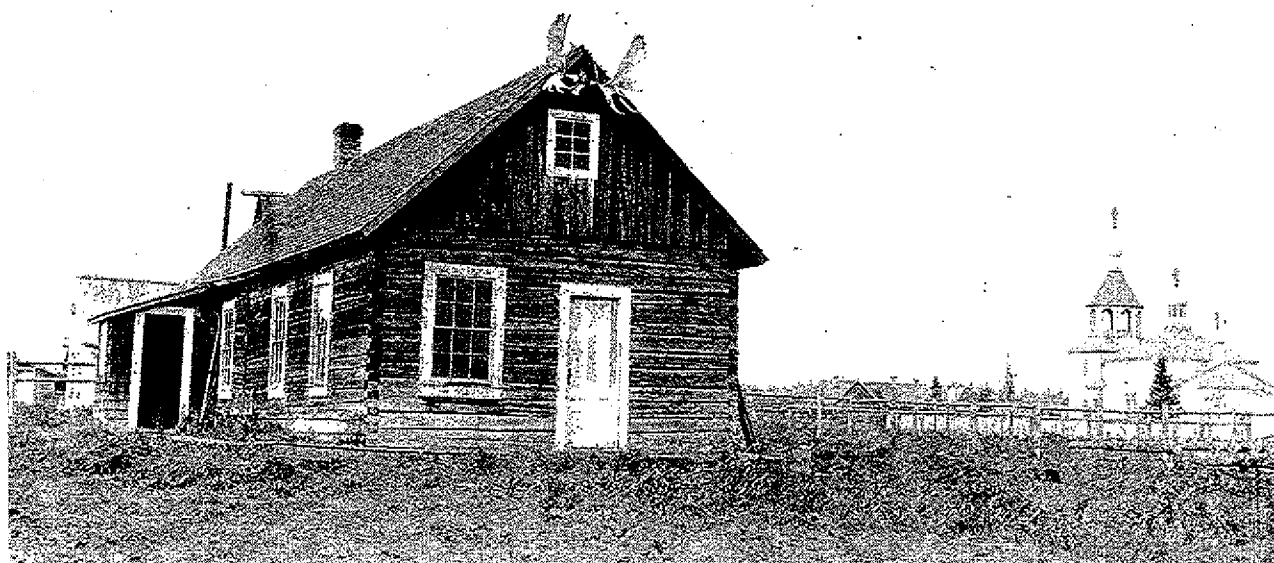


Figure 39. The Interlocked Moose Horn Club, east and south elevations, c.1900. The Holy Assumption of the Virgin Mary Russian Orthodox Church and village cabins are located in the background. Simonson Collection, B91.9.93, photo by Tom Odale. The Anchorage Museum of History and Art.



Figure 40. "Full Gospel Mission" (formerly Interlocked Moose Horn Club), c.1950s. Photo courtesy Thom Tomrdle.



Figure 41a. Tomrdle home under renovation, c1977. South and east elevations. Photo courtesy Thom Tomrdle.



Figure 41b. Tomrdle home, former Interlocked Moose Horn Club, south and east elevations, 1995. Photo by S.H. Elliott.

Map#: D AHRS: KEN-278 Property Type: Residence

Property Name: Dolchok/Juliussen Cabin

Address: 814 Riverside

Legal Description: Kenai Townsite Oiler, Lot 53, Block 18

Date of Construction: c1922

Condition: Fair

Description: This one-story cabin is constructed of hand-hewn squared logs with dovetail notches. It rests upon a wood post-and-beam foundation, and measures 16' by 30'3". The southern 12'9" is covered with wood shingles but the log understructure is apparent. The gable roof is covered with corrugated metal. The main entrance is located in an enclosed gable entry which projects to the east. This entry is constructed with horizontal planking over square logs. Cornerboards are used in both the shingled and planked portions.

History and Physical Changes: The cabin was built about 1922 by Mike Dolchok. It was originally constructed on the east side of what is now Overland Street, across from the U.S. Fish and Wildlife Service (USFWS) buildings. It remained the Dolchok family home until the late 1940s when it was sold to Dick Wilson who then sold it to the Juliussens. Julius Juliussen moved it to its present location and raised his family in the cabin in the 1950s. A large home occupied by other members of the Juliussen family was formerly located on the eastern portion of this lot. The cabin is currently unoccupied.

A large, sixteen-pane window facing south toward the bluff was recently added, replacing a small fixed-pane window. The other window openings of the Cabin are boarded, so it was not possible to determine if the original windows were in place or not. A plywood door lies to the right of the sixteen-pane window. A twelve-foot wide particle board addition with flat roof has been recently constructed on the north elevation. Substantial in size, the addition extends past both the east and west elevations.

Outbuildings: None

Integrity: Although the building was moved to its current location in the 1950s, its present site (Riverview Street) in a small residential neighborhood is similar to its original setting on Overland Street, only three blocks away. There are no topographical features in its present location that are markedly different from those of its original location. Both sites are flat and grass-covered.

Despite having received some modifications over the years, the original design, workmanship, and materials of the cabin are evident. The large addition on the north is so dissimilar in design, size, and materials that it does not obscure the building's original design. The building has retained its historic integrity.

Associated Historic Themes: Early Community Building Era,
Kenaitze Subsistence

Appearance at End of Period of Significance: The property's appearance in 1925 was similar to the way it looks today. The large addition on the north did not exist and the large, multi-pane window had not yet been added, however.

Contributing/Non-Contributing: Because the Dolchok/Juliussen Cabin has retained its historic integrity, it would be a contributing building in the KTHD if located within District boundaries.

Historical Significance: The Dolchok/Juliussen Cabin is one of the few remaining residences in Kenai that illustrates the themes of the Early Community Building Era and Kenaitze Subsistence.

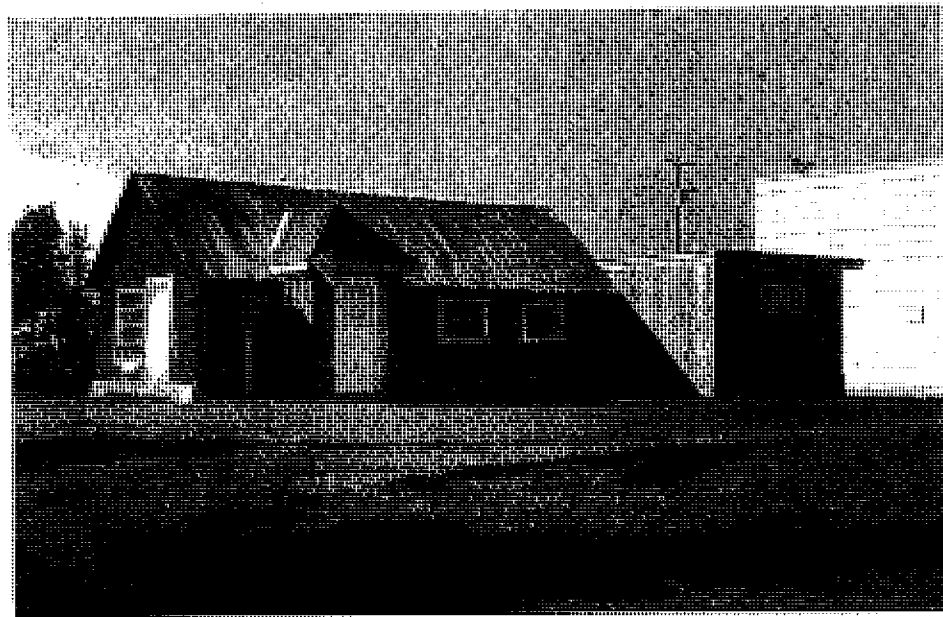


Figure 42. Dolchok/Juliussen Cabin, west and south elevations, 1995.
Photo by S.H. Elliott.

FEDERAL PROGRAMS FOR SUSTAINABLE RESOURCE MANAGEMENT, 1935-1958

The (former) Kenai National Moose Range Headquarters:

Primary Quarters, 1935
Quarters, 1949
Office, 1949/early 1950s
Shop/Garage, 1957/58
Boat Shed, c1950s

The property type for the buildings and structures of the former Moose Range Headquarters is Other: Government.

Map#: 8 - 12 AHRS#: KEN-269 Property Type: Other:
Government

Property Name: (former) Kenai National Moose Range Headquarters

Address: 502 Overland Street

Legal Description: USS 1435

Date of Construction: 1935 - 1958 Condition: Good

Description: This complex of five buildings includes two residences, an office, a shop/garage and a boat shed. One property incorporates a surplus military Quonset Hut, but the remainder of the structures and buildings are frame construction and were erected on-site. Most of the construction dates from the late 1940s and 1950s, but one building pre-dates the 1941 establishment of the Moose Range. The site is 5.36 acres, level and covered with grass.

History and Physical Changes: The Kenai National Moose Range was established in 1941 by President Roosevelt, but had no staffing until 1948. The single staff member arriving that year was David Spencer, manager. The Range was created to set aside and maintain areas of game habitat free from settlement and other human activities. In 1971, the Alaska National Interest Lands Conservation Act (ANILCA), changed the name of the Kenai National Moose Range to the Kenai National Wildlife Refuge, and the headquarters moved to Soldotna. With passage of ANILCA, the mandate of the Refuge shifted to conservation of all wildlife and migratory birds on the Kenai Peninsula, rather than its previous single focus on moose conservation. The former headquarters is used to house seasonal U.S. Fish and Wildlife Service (USFWS) staff and anyone involved with Refuge projects. The Complex is also used for storage.

The existing Quonset Hut (Office, KEN-270) is one of four properties barged to the site in 1949 by David Spencer and Jim Arness. Two of these buildings (which may have been Pacific Huts) were joined in a cruciform shape and used as a residence (demolished in the 1980s); one property was used as a garage (non-extant), and the fourth, a Quonset Hut, became the power plant for the headquarters complex. Missing is a two-story log building dismantled circa 1957 when the existing garage/shop was built. It had been on the site prior to USFWS occupancy and was used by the Agency as a shop and temporary housing. The concrete pad from a demolished washhouse/bunkhouse is located near the northwest corner of the property. Also removed is a trailer used for temporary housing that had been located by the washhouse/bunkhouse.

Outbuildings: N/A

Integrity: Because the complex is not yet fifty years old and does not meet the National Register criterion for Exceptional Importance, its integrity is not applicable for purposes of National Register evaluation. (The building constructed in 1935 by the Alaska Game Commission, however, has retained its historic integrity). The overall similarity to appearance during the period of significance was, however, assessed for the KTHD Survey. All but one of the properties associated with the Kenai National Moose Range Headquarters Complex remain essentially unaltered since first constructed. Because the site has had no intrusions introduced, the (former) Kenai National Moose Range Complex conveys the Feeling of the complex during its period of significance.

Associated Historic Theme: Federal Programs for Agriculture and Sustainable Resource Management

Appearance at End of Period of Significance: The extant buildings, the Quonset Hut residence, washhouse/bunkhouse and trailer were located on site.

Contributing/Non-contributing: Although associated with one of the themes of the KTHD, the Kenai National Moose Range Headquarters Complex can not officially be evaluated for National Register integrity (for reasons described under the preceding heading, Integrity). For this reason, the Complex can not be considered a contributing property in the KTHD. One of the individual properties of the Complex, however, the 1935 Primary Quarters, does have integrity and is a contributing property in the District.

Historical Significance: The complex is associated with an early federal wildlife conservation program in Alaska.

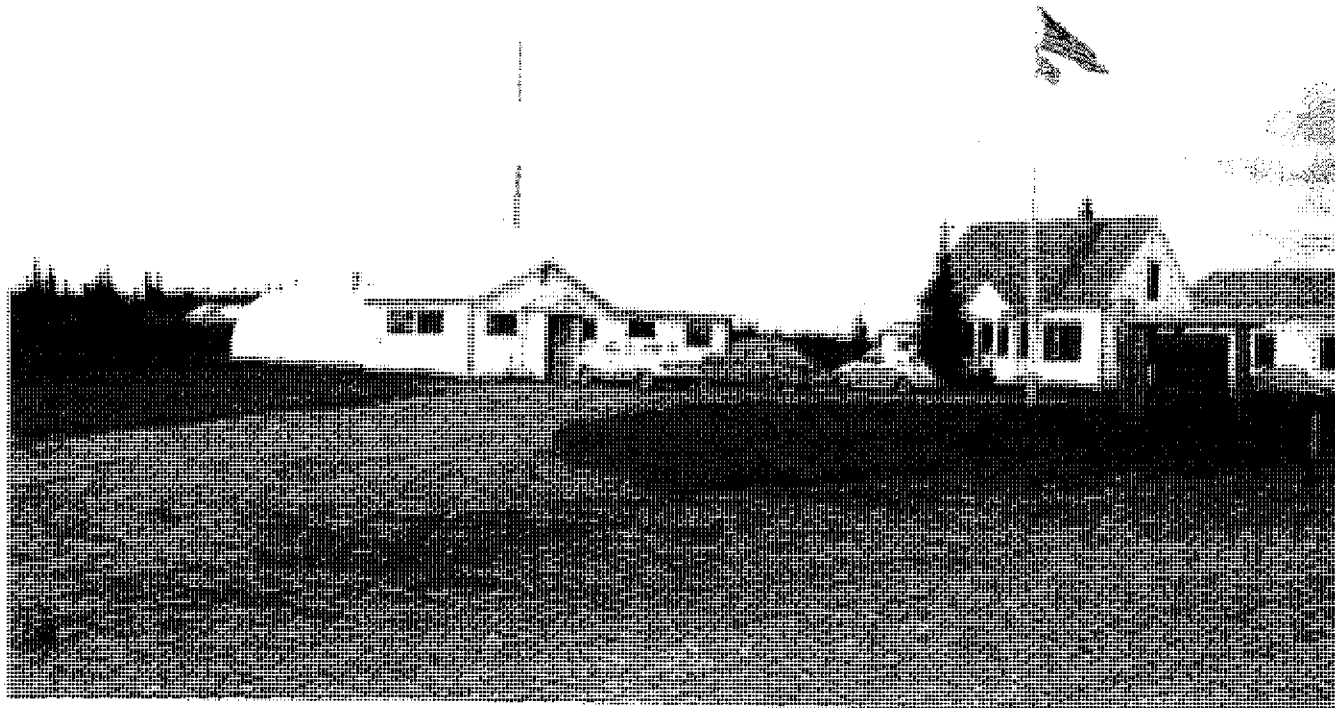


Figure 43. Kenai National Moose Range Headquarters complex, (left to right) Office, Primary Quarters, Garage/Shop, c.1965. All buildings are extant. View is taken facing northwest. Photo courtesy of U.S. Fish and Wildlife Service.

Map#: 8 AHRS#: KEN-271 Property Type: Other:
Government

Property Name: Primary Quarters,
(former) Kenai National Moose Range Headquarters

Address: 502 Overland Street

Legal Description: USS 1435

Date of Construction: 1935

Condition: Good

Description: The building is a one-and-one-half story rectangular residence which measures 31' by 24'. It is a frame building with horizontal wood siding and cornerboards; paired multi-pane, double-hung windows with false wooden shutters; steep gable roof with returns and a central chimney; and an enclosed gable entry centered on the south elevation. A single wood door with multi-pane window is flanked by large, sixteen-pane windows in this entry. Tall spruce trees grow on either side of the entry.

History and Physical Changes: The residence was built in 1935 for the Alaska Game Commission, the federal agency which occupied the property after the (federal) Alaska Agriculture Experimental Station closed in 1908. The Primary Quarters became the residence for all managers of the Kenai National Moose Range. In addition, the building served as Headquarters office until this use was transferred to the adjacent Quonset Hut/frame building. The Primary Quarters building continues to provide housing for federal employees. In 1950, the USFWS replaced the deteriorated wood foundation with a concrete basement.

Outbuildings: None

Integrity: The exterior appearance of the building has not been changed, and therefore it maintains its historic integrity.

Associated Historic Theme: Federal Programs for Agriculture and Sustainable Resource Management

Appearance at End of Period of Significance: The house looked the same as it does today. The shutters may or may not have appeared.

Contributing/Non-contributing: Because it has maintained its historic integrity, the Primary Quarters is a contributing property within the KTHD.

Historical Significance: The building housed all managers of the Kenai National Moose Range Headquarters and is associated with early federal wildlife conservation programs in Alaska.

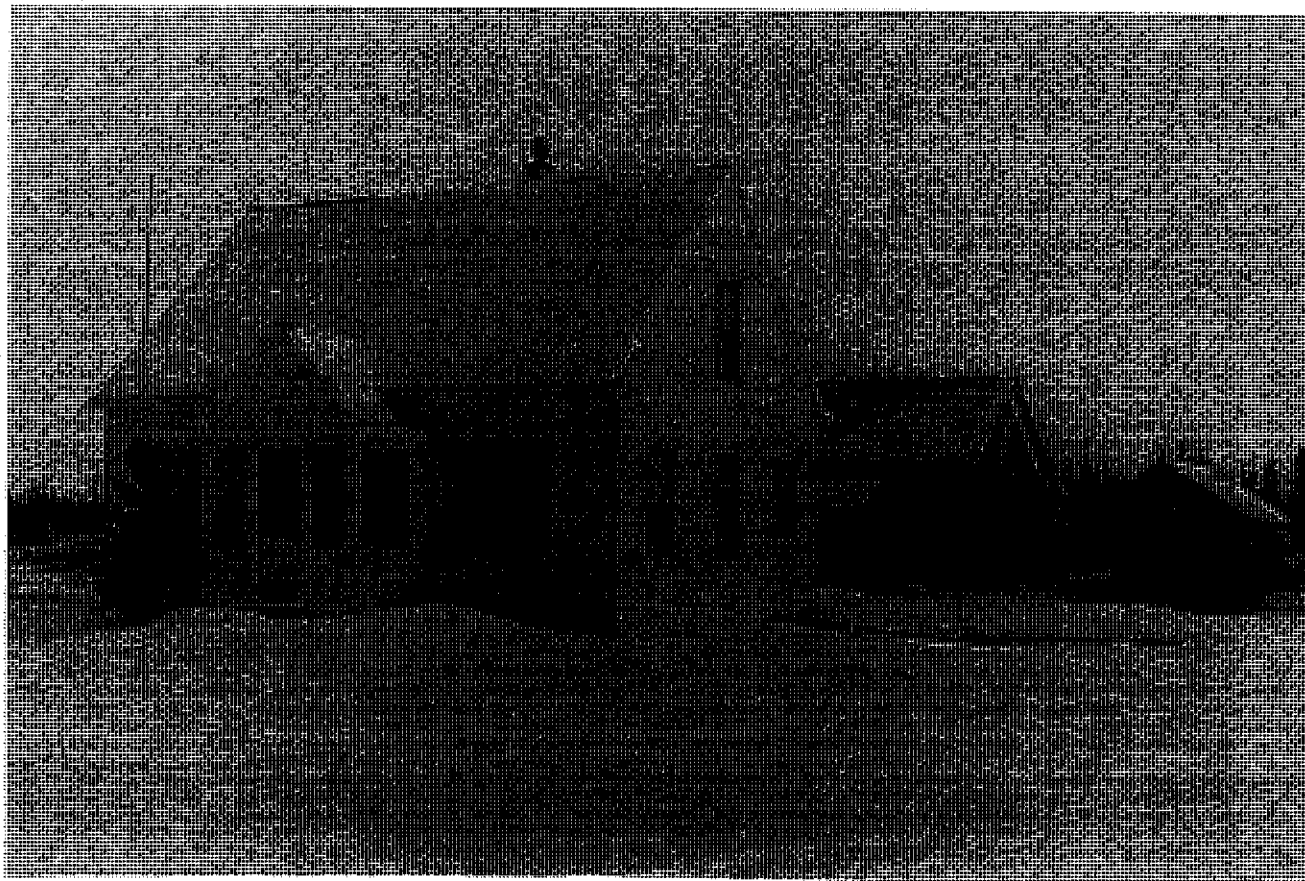


Figure 44. Primary Quarters, Kenai National Moose Range Headquarters, c1935-36. Unidentified building and structure at right are no longer extant. Photo courtesy of U.S. Fish and Wildlife Service.

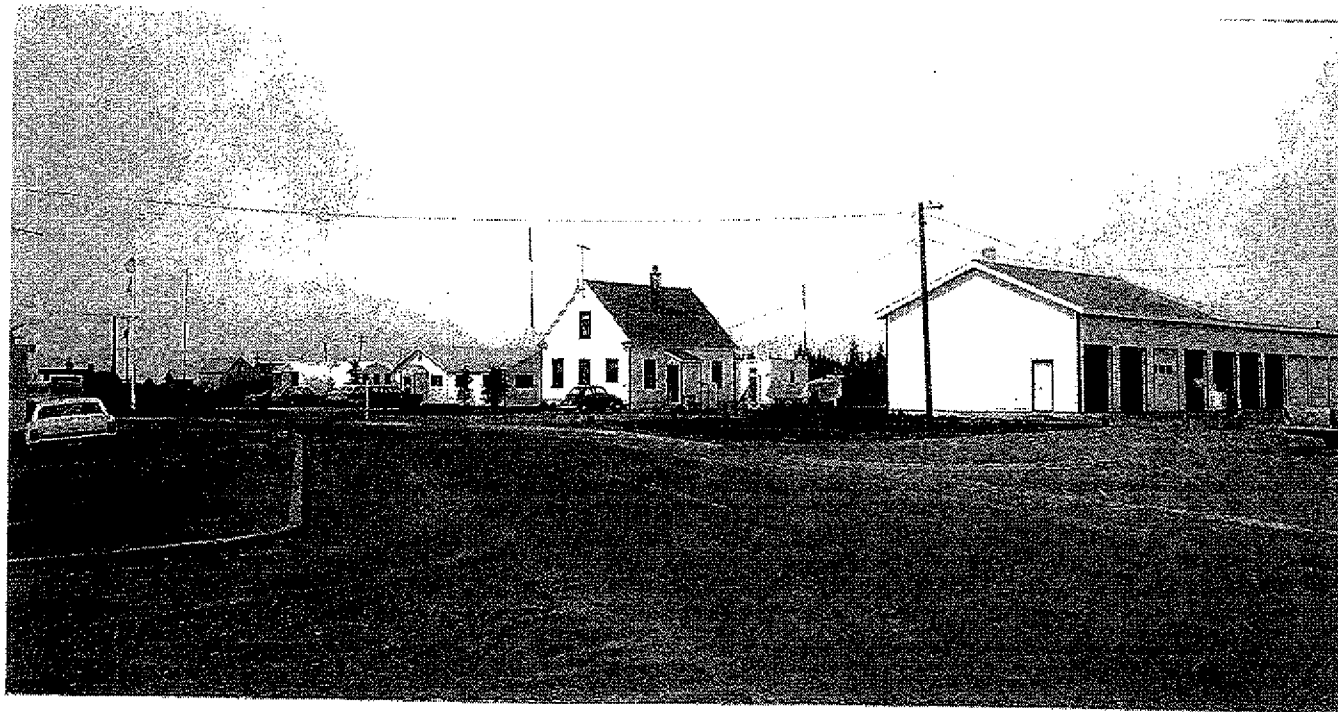


Figure 45. (Left to right) Primary Quarters and Garage/Shop (south and east elevations), Kenai National Moose Range Headquarters, c.1965. Photo courtesy of U.S. Fish and Wildlife Service.



Figure 46. Primary Quarters, south elevation, (former) Kenai National Moose Range Headquarters, 1995. Photo by S.H. Elliott.

Map#: 8 AHRS#: KEN-272 Property Type: Other:
Government

Property Name: Quarters,
(former) Kenai National Moose Range Headquarters

Address: 502 Overland Street

Legal Description: USS 1435

Date of Construction: 1949

Condition: Good

Description: The building is a one story frame residence with a gable roof and a rectangular plan. It measures 28'2" by 39'5" and sits on a concrete basement. A gable entry with large nine-pane windows is centered on the east elevation.

History and Physical Changes: The residence was built in 1949 to house the USFWS enforcement officer. It continues to house federal employees. It has received no alterations since it was constructed that have changed its exterior appearance.

Outbuildings: None

Integrity: Because the property is not yet fifty years old and does not meet the National Register criterion for Exceptional Importance, its integrity is not applicable (N/A) for purposes of National Register evaluation. For purposes of a baseline evaluation, however, the building remains basically unchanged from its appearance during the period of significance.

Associated Historic Theme: Federal Programs for Agriculture and Sustainable Resource Management

Appearance at End of Period of Significance: The house looked the same as it does today.

Contributing/Non-contributing: The Quarters building is not a contributing property within the KTHD because it is not yet fifty years old and does not possess Exceptional Importance according to National Register criteria.

Historical Significance: The building provided housing for employees of the Kenai National Moose Range Headquarters and is associated with an important federal wildlife conservation program in Alaska.



Figure 47. Quarters, southeast corner, (former) Kenai National Moose Range Headquarters, 1995. Photo by S.H. Elliott.

Map#: 10 AHRS#: KEN-270 Property Type: Other:
Government

Property Name: Office,
(former) Kenai National Moose Range Headquarters

Address: 502 Overland Street

Legal Description: USS 1435

Date of Construction: 1949/early 1950s Condition: Good

Description: The building is a surplus military Quonset Hut (moved from Kodiak in 1949) with several wood frame additions. The Quonset portion of the building is sixteen feet wide and 36'8" long. Constructed of masonite sections bolted to steel ribs, it joins perpendicularly to the frame section. Entrance to the Quonset Hut is via a wood paneled door located in the end wall.

The frame portion is rectangular, measuring 22'9" by 39'. It has a gable roof and an enclosed, double gable entry on the east elevation. Siding is shiplap with T1-11 covering the gable entry.

History and Physical Changes: Initially the Quonset Hut was the power plant for the complex until the Kenai Power Company was formed in 1951. The first frame addition was constructed c1950-51, and the building became the Headquarters office. Additional alterations include a twenty foot by twenty foot addition constructed in 1963, and the enclosed entry and a basement that were added circa 1972-74. The building is currently used for storage.

Outbuildings: None

Integrity: Because the property is not yet fifty years old and does not meet the National Register criterion for Exceptional Importance, its integrity is not applicable (N/A) for purposes of National Register evaluation. For purposes of the KTHD Survey, it was difficult to determine the degree to which the appearance of the property has changed since it was first brought to its present site, since the first addition was attached so soon after the original building was in place. The three frame additions do appear overwhelming to the Quonset, and not compatible. They do not, however, obscure the property's original design.

Associated Historic Theme: Federal Programs for Agriculture and Sustainable Resource Management

Appearance at End of Period of Significance: The building looked similar to its current appearance, minus the 1963 and 1972-74 additions.

Contributing/Non-contributing: The Office is not a contributing property within the KTHD because it is not yet fifty years old and does not possess Exceptional Importance according to National Register criteria.

Historical Significance: The building served as the first power source of the headquarters, and later as its office. As part of the Kenai National Moose Range Headquarters complex, it is associated with an important federal wildlife conservation program in Alaska.

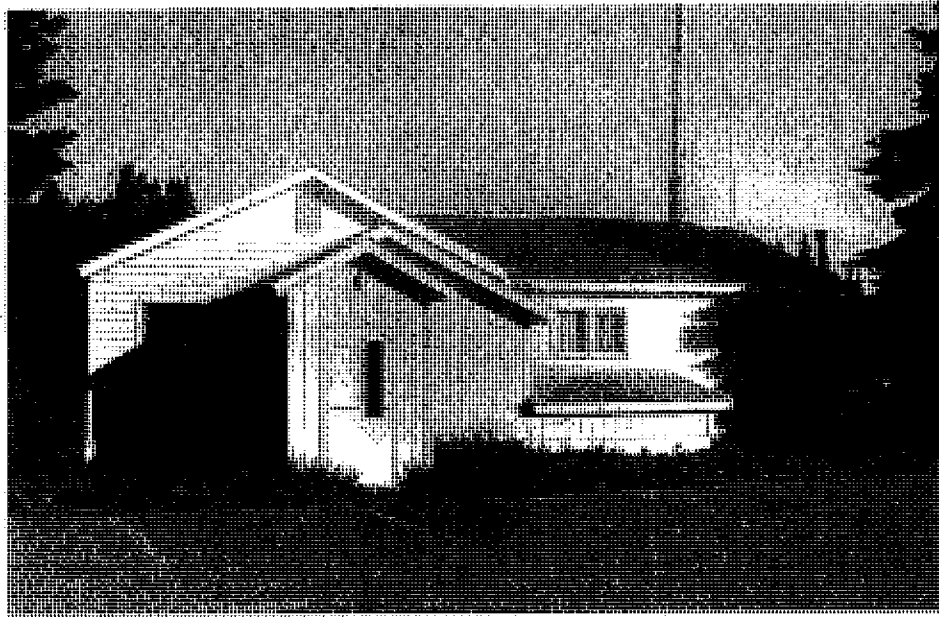


Figure 48. Office, (former) Kenai National Moose Range Headquarters, east elevation, 1995. Photo by S.H. Elliott.

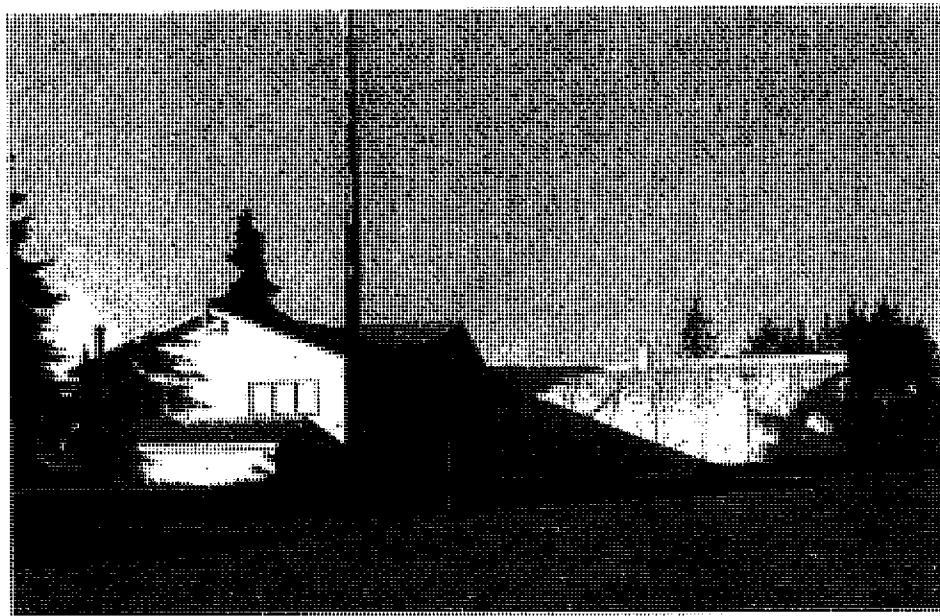


Figure 49. Office, (former) Kenai National Moose Range Headquarters, north elevation, 1995. Photo by S.H. Elliott.

Map#: 11 AHRS#: N/A Property Type: Other:
Government

Property Name: Shop/Garage
(former) Kenai National Moose Range Headquarters

Address: 502 Overland Street

Legal Description: USS 1435

Date of Construction: 1957/1958 Condition: Good

Description: The Shop/Garage measures 36'4" by 120' and is covered with shiplap siding and cornerboards. It has ten bays, each with one nine-foot wide overhead door. The first four bays are housed in a tall, one-and-a-half story section of the structure. This portion has a gable roof and measures 36'4" by 48"; it is heated and has a poured concrete floor. The second section of property measures 36'4" by 72'. It has a shed roof which is lower in height than the adjacent gable one, and a gravel floor.

History and Physical Changes: Construction plans called for the property to be built in two stages. The first portion (eastern end), was the Shop/Garage, constructed in 1957. It housed the shop and storage areas. The second phase of construction (equipment stalls) was completed in 1958. After the second section of the property was finished it was used for cold storage, and the eastern (1957) portion became the wood-working shop and vehicle maintenance area. The upper level of the property provided storage. The structure continues to be used as it was when the Moose Range Headquarters was in operation.

Outbuildings: None

Integrity: Because the property is not yet fifty years old and does not meet the National Register criterion for Exceptional Importance, its integrity is not applicable (N/A) for purposes of National Register evaluation. For purposes of a baseline evaluation, however, the property remains basically unchanged since its construction.

Associated Historic Theme: Federal Programs for Agriculture and Sustainable Resource Management

Appearance at End of Period of Significance: The building looked the same as it does today.

Contributing/Non-contributing: The Shop/Garage is not a contributing property within the KTHD because it is not yet fifty years old and does not possess Exceptional Importance according to National Register criteria.

Historical Significance: As part of the Kenai National Moose Range Headquarters complex, it is associated with an important federal wildlife conservation program in Alaska.

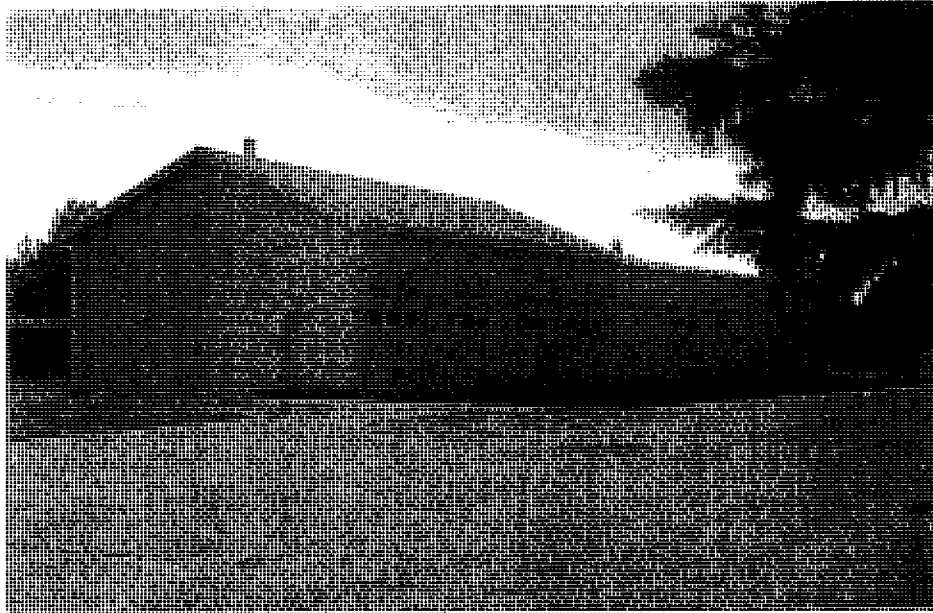


Figure 50. Garage/Shop, north and east elevations, (former) Kenai National Moose Range Headquarters, 1995. Photo by S.H. Elliott.

Map#: 12

AHRS#: N/A

Property Type: Other:
Government

Property Name: Boat Shed
(former) Kenai National Moose Range Headquarters

Address: 502 Overland Street

Legal Description: USS 1435

Date of Construction: 1950s

Condition: Good

Description: The Boat Shed is located near the west boundary of the property and was constructed in the 1950s. It is a simple, one-story frame structure with a rectangular plan. The gable roof has exposed 2x4 rafter ends and metal roofing. Shiplap siding covers the structure. Double doors are centered on one end-wall.

History and Physical Changes: The structure housed U.S. Fish & Wildlife boats and assorted marine gear. The exterior of the structure has not been altered.

Outbuildings: None

Integrity: Because the property is not yet fifty years old and does not meet the National Register criterion for Exceptional Importance, its integrity is not applicable (N/A) for purposes of National Register evaluation. For purposes of a baseline evaluation, however, the property remains basically unchanged since its construction.

Associated Historic Theme: Federal Programs for Agriculture and Sustainable Resource Management

Appearance at End of Period of Significance: The building looked the same as it does today.

Contributing/Non-contributing: The Boat Shed is not a contributing property within the KTHD because it is not yet fifty years old and does not possess Exceptional Importance according to National Register criteria.

Historical Significance: As part of the Kenai National Moose Range Headquarters Complex, the structure is associated with an important federal wildlife conservation program in Alaska.

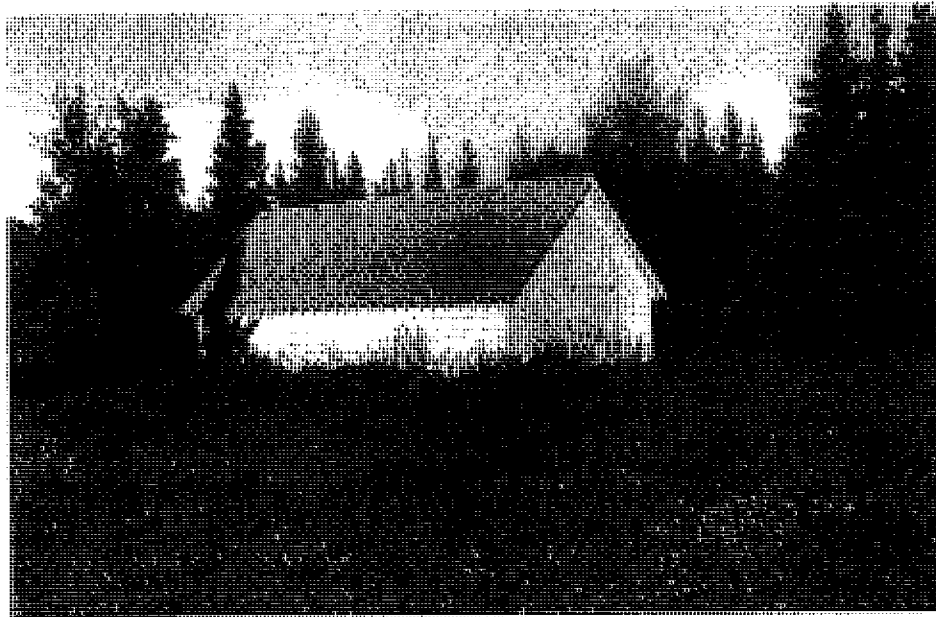


Figure 51. Boat Shed, east and north elevations, (former)Kenai National Moose Range Headquarters, 1995. Photo by S.H. Elliott.

POST-WAR COMMUNITY GROWTH, 1948-1958

Residential

+Showalter House, c1930s-1940s
Mann/Peters House, 1952
*Ray Gee House, 1954
*Steve King House, c1950s

Other: Commercial

*Pharmacy/Jahrig Electric Company, c1940s
Kenai Commercial Company, 1948

Other: Social

Kenai Bible Church, c1950s

Other: Government

Civic League Building, 1954
Kenai Firehall & Jail, 1955/57

*Property located within the boundaries of the KTHD

+The Showalter House, although constructed prior to the Post-War Community Growth Period, is included here because its appearance is compatible with buildings of this era, and because it is not directly associated with the historic themes of the District.

Map#: E AHRS#: KEN-276 Property Type: Residence

Property Name: Showalter House

Address: 911 Mission Avenue

Legal Description: Original Townsite, Lot 6, Block 20

Date of Construction: late 1930s-early 1940s Condition: Good

Description: The residence is a one-story frame building with a shed-roofed arctic entry on the east elevation. Measuring 34'5" by 36'5", it has a hip roof covered with corrugated metal, weatherboard siding and a concrete block foundation. A single door flanked by two metal-framed windows punctuates the rear (west) elevation. Original wood framed 3/3 windows remain on the north and south elevations.

History and Physical Changes: The house was built in the late 1930s or early 1940s by John Berg, a local carpenter. Helen Berg, his wife, was the postmistress and operated the local post office from their home. Berg sold the home to Ward Showalter in 1947. Showalter, a commercial fisherman, cannery worker and trapper, raised his family here. The building is now owned by his son, James, who is also a fisherman. The building is currently a rental property.

Ward Showalter raised the house and added the foundation. He also added the existing entry on the east elevation and re-sided over the original shiplap. The original entrance was on the north elevation through a small enclosed entry. The original door remains on this elevation. Original outbuildings included a 20' by 20' shop and garage which were demolished by Berg. The bluff-edge property is enclosed with a chain link and wood fence. The site is level and grass covered. The vegetable gardens that fed the Ward Showalter family no longer remain.

Outbuildings: None

Integrity: With the addition of the east elevation entry and removal of the original north elevation arctic entry, the orientation of the residence was changed. A few original wood framed, 3/3 windows remain but the primary window is now a metal-framed sliding window. These alterations have compromised the historic integrity of the building.

Associated Historic Theme: The property is not associated with any of the themes of the KTHD. Because of its estimated date of construction (1930s-1940s) it is a transitional property: partially linked with the subsistence way of life in 1930s Kenai, but pre-dating Kenai's Post-War Community Growth period.

Appearance at End of Period of Significance: Unknown

Contributing/Non-contributing: Because the building has lost its historic integrity, it would not be a contributing property if located within the boundaries of the KTHD.

Historical Significance: The Showalter house is the only remaining residential property in the KTHD Survey which was constructed circa late 1930s, early 1940s.



Figure 52. Showalter House, east and south elevations, 1995. Photo by S.H. Elliott.

Map#: H AHRS#: N/A Property Type: Residence

Property Name: Mann/Peters House

Address: 902 Mission Avenue

Legal Description: Original Townsite, Lot 8, Block 15

Date of Construction: 1952, remodeled 1978 Condition: Good

Description: This residence is a tall, two-and-a-half story rectangle with frame construction and shiplap siding. A large, two-story, enclosed entry is located on both the west and south elevations. The south entry is centered on the facade and provides entrance to the second story of the residence, which is reached by an open stair and deck with balustrade. Two gable-roofed dormers, each with paired, six-light fixed-sash windows, project from the south side of the gable roof to provide light and space for the upper level bedroom and office. Similar windows provide distinctive fenestration to the facade.

History and Physical Changes: The original house was built circa 1952 by Harry James Mann, local native leader, commercial fisherman and member of the Laborers Union. He raised his family here until the late 1960s. As originally constructed, the building was a large one-and-a-half story rectangle with a gable roof. A central enclosed arctic entry and four, multi-pane, double-hung windows created five bays on the facade. A root cellar was located under the building and no permanent foundation existed. The residence had several owners after the Mann family, and in 1978 it was purchased by Robert Peters.

In 1982, Peters made extensive alterations to the house. Although the shell of the original house still exists, it is difficult to recognize. Peters raised the building five feet to add a daylight basement and increase living space. Previously, the house sill lay directly on grade. Peters enclosed the front porch and added the deck in front of it. He added the two-story arctic entry on the west elevation and cut the dormers into the roof. He also changed the windows, installing eleven four-foot square windows with nine lights that were salvaged from the former downtown Anchorage Library.

Outbuildings: The original arctic entry that was removed from the house sits in the northwest corner of the property. Structures adjacent to it include a frame banya (sauna) and a storage structure/garage (which may at one time have enclosed the well used by the Mann family). Currently, all outbuildings are used for storage.

Integrity: N/A; this property has been drastically remodeled, however, and the original design is difficult to visualize. It is also incompatible in size and design with the historic buildings of the District.

Associated Historic Theme: None; associated with Kenai's Post-War Community Growth Period.

Appearance at End of Period of Significance: N/A

Contributing/Non-Contributing: Because the Mann/Peters House is not yet fifty years old and initial research did not provide evidence of Exceptional Importance, it would not be a contributing property if located within the KTHD.

Historical Significance: The Mann/Peters house is associated with the period of community growth in Kenai following World War II.



Figure 53. Mann/Peters House, south elevation, 1995. Photo by S.H. Elliott.



Figure 54. Outbuildings, Mann/Peters House, north elevation, 1995. Photo by S.H. Elliott.

Map#: 15 AHRS#: KEN-273 Property Type: Residence

Property Name: Ray Gee House

Address: 1011 Alaska Street

Legal Description: Original Townsite, Lot 4, Block 14

Date of Construction: 1954

Condition: Good

Description: The Ray Gee House is a one-and-a-half story frame building with steep gable roof and three large shed-roofed dormers facing north and south. The residence measures 23'4" by 29'8". Entry is via a small flat-roofed enclosed entry attached to the northeast corner of the house. The facade faces south to the bluff, but appears unused (no walkway or path, no step up to the door.) The building sits on poured concrete basement walls. Grooved cedar siding painted green, and a red standing seam metal roof give the home an attractive appearance. The site is level and grassy, on the edge of the bluff. Large fixed-glass windows are used to maximize the view to the south.

History and Physical Changes: The house was built by Ray Gee, who arrived in Kenai in 1948 and began working at one of the canneries. Soon he was doing contract construction work at Wildwood, the nearby military base under construction in 1953. Gee also operated a commercial fish site, guided hunters and worked as an electrician at Wildwood. He built the house in 1954 and lived there until 1964 when he and his family moved out of state.

The property was then purchased by the Hulien family who lived there for approximately ten years. Mr. Hulien was the Kenai pharmacist. The family owned the Rexall store and CJ Sporting Goods. A small metal shed, used for storage and attached to the entry in 1966 by the Hulien family, is the only alteration to the building. The Huliens moved to Michigan in 1975 and initially rented the house. In 1975 they sold it to Wayne Cherrier, builder/owner of the nearby Bay Arms Apartments. Cherrier purchased this property with the thought of constructing additional apartment houses. Cherrier continues to own the property and currently rents it.

Outbuildings: None

Integrity: N/A ; the residence retains its original exterior appearance.

Associated Historic Theme: None; the Ray Gee house is associated with Kenai's Post-War Growth Period.

Appearance at End of Period of Significance: N/A

Contributing/Non-Contributing: Because the building is not yet fifty years old and preliminary research did not provide evidence of Exceptional Importance according to National Register standards, it is not a contributing property in the KTHD. Its materials, size and style are, however, compatible with the District's contributing properties.

Historical Significance: The Ray Gee House is an excellent example of a home constructed during Kenai's Post-War Community Growth period.



Figure 55. Ray Gee House, south elev., 1995. Photo by S.H. Elliott.

Map#: 16 AHRS#: N/A Property Type: Residence

Property Name: Steve King House

Address: 500 Mission Avenue

Legal Description: The west 333.76 feet of Government Lot 36

Date of Construction: 1950s

Condition: Poor

Description: The building has a T-shaped plan with a small greenhouse attached near the main entrance. The house measures forty feet by twelve feet with a sixteen foot by twelve foot wing. The building is frame and sits on a post and beam foundation. Various materials, including shiplap, plywood and celotex, side the house. The roof is gable and it is covered with metal sheeting.

History and Physical Changes: This residence was originally located in north Kenai. It was the homestead of Steve King, who constructed it in the 1950s. A carpenter by trade, King relocated the building to its present location in the early 1960s and continued to live there. Robert Showalter lived in the home after King's death. It is currently a rental property.

Outbuildings: Associated properties include a garage/warehouse (built on site in the 1960s), a smokehouse, doghouse, storage shed and outhouse. All these structures are frame construction.

Integrity: N/A; The physical condition of the building is severely deteriorated.

Associated Historic Theme: None; associated with Kenai's Post-War Community Growth period.

Appearance at End of Period of Significance: N/A

Contributing/Non-Contributing: Because the building is not yet fifty years old and preliminary research did not provide evidence of Exceptional Importance according to National Register standards, it is not a contributing property in the KTHD. Its design is not compatible with the historic buildings of the District.

Historical Significance: The Steve King House is associated with homesteading during the period of community growth in Kenai following World War II.

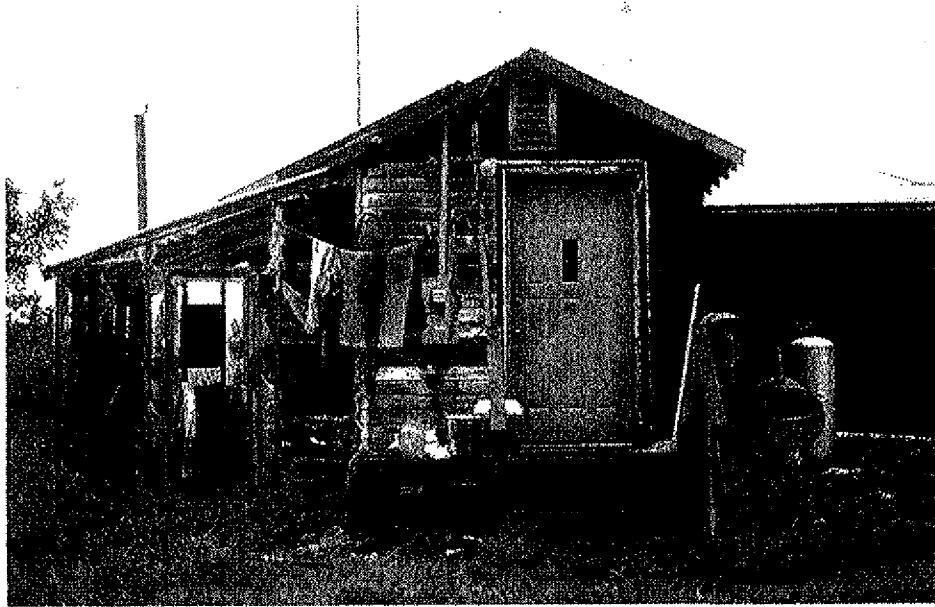


Figure 56. Steve King House, east elevation, 1995. Photo by S.H. Elliott.

Map#: 13 AHRS: KEN-274 Property Type: Other: Commercial

Property Name: Pharmacy/Jahrig Electric Company

Address: 1002 Mission Avenue

Legal Description: Original Townsite, Lot 16, Block 5

Date of Construction: c1940s

Condition: Fair

Description: This frame building has a narrow rectangular plan measuring approximately sixteen feet by sixty feet. (This is an estimation, since the Contractor was not able to get the owner's permission to measure the building). It is one story with a gable roof and sits on a concrete block perimeter-beam foundation. Narrow shiplap siding and corrugated metal roofing currently sheath the building.

History and Physical Changes: Originally a Northwestern Cannery property (construction date unknown), it was moved up the Inlet by boat and winched up the bluff in the late 1940s or early 1950s. The windlass used to hoist the building up the ravine also pulled out fishing boats at the season's end for repairs and winter storage.

The property has had a varied history in its present location. It is thought to be the first theater and first pharmacy in Kenai. The pharmacy was run by Joe and Joan Boyer in the early 1950s. A bakery and coffee shop were located here in the late 1950s and into the 1960s. In recent years the building was an electrical store and headquarters for an electrical contractor. At the time of the KTHD Survey, the property was under renovation to become a restaurant.

Although the original design of the building is not known, it has had many alterations at its current site. The original property was very likely a simple, one-story frame building with gable roof and shiplap siding. A shed-roofed addition was attached to the rear elevation in the 1950s. The property was remodeled again in the 1970s when, among other changes, building wings and a basement were added. The current renovation includes: modification of window and door openings; removal of the rear wing located on the south end of the building; replacement or covering of the existing siding with half-logs.

Outbuildings: An A-frame cabin built of machined logs was constructed immediately north of the former Pharmacy/Jahrig Electric Company building in the fall of 1995. The property owners plan to construct fourteen additional cabins in the near future. The cabins will house tourist gift shops, and will operate in conjunction with the restaurant.

Integrity: The former Pharmacy/Jahrig Electric Company building has lost its historic integrity due to the many modifications it has received.

Associated Historic Theme: None, but associated with Kenai's Post-War Growth and Post-Statehood Development Periods.

Appearance at End of Period of Significance: N/A

Contributing/Non-Contributing: Because the building lacks integrity it is not a contributing property in the KTHD.

Historical Significance: The former pharmacy/Jahrig Electric Company property, originally a cannery structure, has had a variety of uses since it was moved to its present location, and is noteworthy as one of the early commerical businesses in Kenai prior to the City's incorporation.

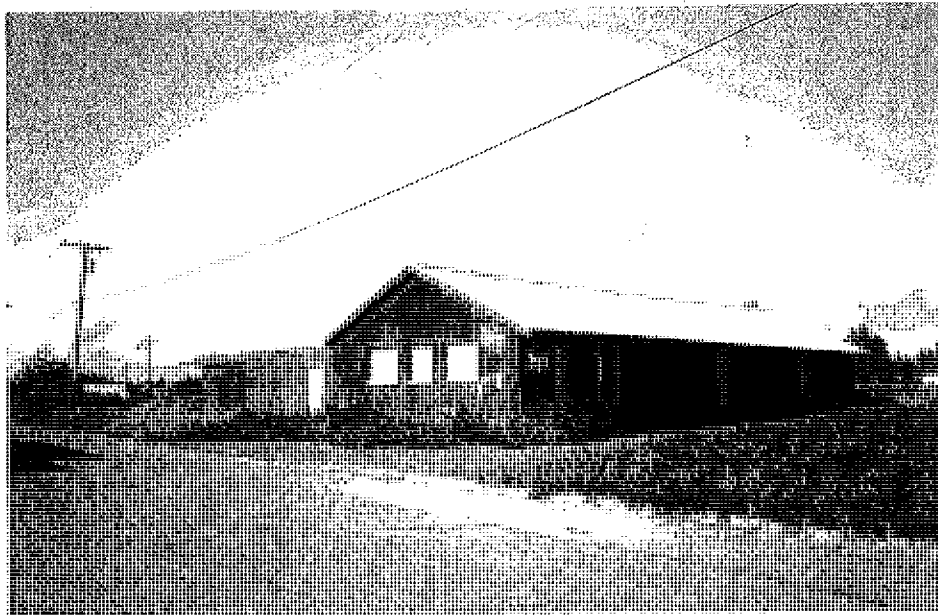


Figure 57. (former) Pharmacy/Jahrig Electric Company, south and east elevations, 1995. Photo by S.H. Elliott.

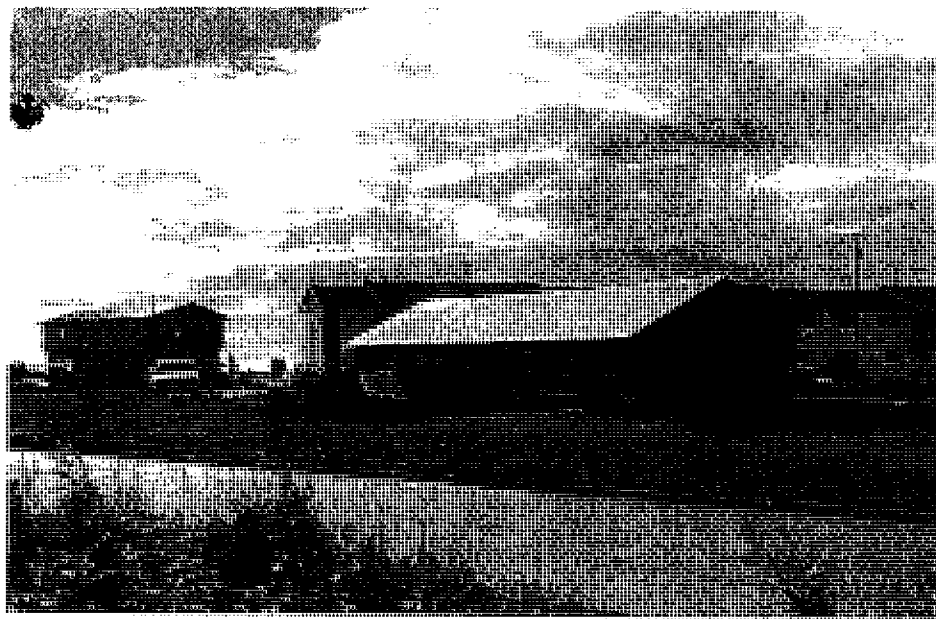


Figure 58. (Left to right), Beluga Lookout RV Park Office, Toyon Villa Apartments, (former) Jahrig Electric Company, 1995. View is facing south. Photo by S.H. Elliott.



Figure 59. A-frame outbuilding between Overland and Upland Streets, south elevation, 1995. Photo by S.H. Elliott.

Map#: F AHRS#: N/A Property Type: Other: Commercial

Property Name: Kenai Commercial Company

Address: 909 Cook Avenue

Legal Description: Original Townsite, Lot 6, Block 15

Description: Several gable dormers with decorative latticework punctuate the roof of this one-and-a-half story building. The L-shaped building has a poured concrete foundation; a gable roof covered with standing-seam metal roofing; and vinyl siding. Two entrances (one an open gable), wood decking, and attractive landscaping are located on the north elevation.

Date of Construction: unknown; moved to its Condition: Good
current location in 1948

History and Physical Changes: The original store on this location, owned and operated by Vince Stephans, burned in the 1940s. Cecil Jones and E. Wells Erwin barged a building from Kasilof (believed to be an Alaska Packers Cannery building) in 1948 to establish the Kenai Commercial Company Store (KCC) and located it on the same site. The Kasilof building became the only commercial store selling groceries and dry goods in Kenai for many years. The slogan of the store was "buy on credit: pay after the fishing season." Helen Jones operated the store. She was also a registered nurse, and provided medical care for Kenai residents during Kenai's Post-War Community Growth Period. The KCC operated in the same building until 1966, when KCC was purchased by Northern Commercial Company (NCC). After three years in the same location, NCC moved to a new building.

The Jehrig family then purchased the building and lived there until 1980. By this time, the building had received successive alterations. After remaining unoccupied from 1980 to 1985, the property was purchased by Janice and Robert Cowan, who effected a major remodeling and upgrading. Building materials down to the structural framework were removed. One wing was removed, a dormer added, and the building extended toward Cook Street. Windows and entrances were changed, and new siding and roofing materials were added.

Outbuildings: None

Integrity: N/A; however, because little of the early building, save for its concrete foundation, remains today, the property does not retain its appearance as initially constructed.

Associated Historic Theme: None; associated with Kenai's Post-War Community Growth period.

Appearance at End of Period of Significance: N/A

Contributing/Non-Contributing: Since the Kenai Commercial Company building is not yet fifty years old and does not possess Exceptional Importance by National Register standards, it would not be a contributing property if located within the KTHD.

Historical Significance: The property is associated with Kenai's Post-War Community Growth Period.



Figure 60. (former) Kenai Commercial Co., north and west elevations, c.1970s. Photo courtesy Thom Tomrdle.

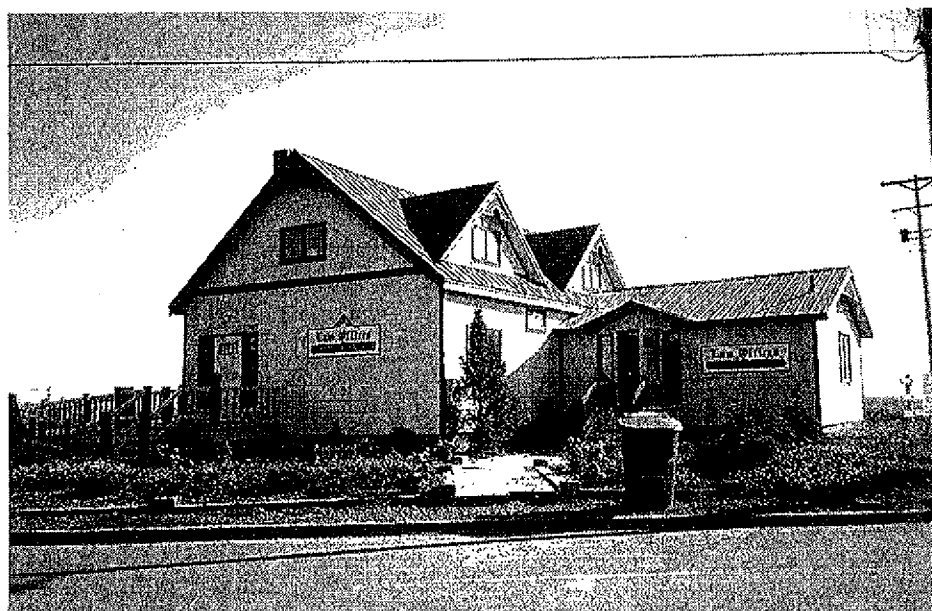


Figure 61. (former) Kenai Commercial Co., (now) Law Offices, Cowan Gerry and Aaronson, J. Skrha, north and west elevations, 1995. Photo by S.H. Elliott.

Map#: G AHRS#: N/A Property Type: Other: Social and
Residence

Property Name: Kenai Bible Church

Address: 600 Main Street

Legal Description: Original Townsite, Lot 9, Block 15

Date of Construction: circa 1950s Condition: Good

Description: This frame building is a combination church and residence with the Church on the south, or bluff end of the building. It is a 92' long, one-story rectangle with continuous gable roof. The rectory has two enclosed gable entries and gable dormers. The rectory portion measures 38' in length. Metal siding and composition shingles cover exterior walls and roof. Windows are double-hung.

The church portion is 54' long, and sits on a concrete basement with window wells. An open, gable entry is located on the facade (east elevation). A row of five 1/1, double-hung windows are also located on the east elevation. The south elevation is highlighted by a very large wood-framed glass area, created by two identical trapezoidal windows that project to form a vertical seam. Each window has four panes of glass.

A graveled parking area butts up against a concrete sidewalk running the length of the facade. The site is level and has a clear view of the inlet. The Church/residence and garage occupy the majority of the site. There are also a few flower beds and a narrow backyard.

History and Physical Changes: The main building was erected circa 1948-50, and the garage in the late 1950s. The building was used by other religious denominations before their own buildings were constructed. The Kenai Bible Church is believed to be the first Protestant church in Kenai.

Outbuildings: A large frame garage with gable roof is located behind the house to the west. A small storage structure, also of frame construction with a gable roof, stands beside the garage.

Integrity: N/A; no photographs were found that showed the original appearance of the building.

Associated Historic Theme: None; the property is associated with Kenai's Post-War Community Growth period.

Appearance at End of Period of Significance: N/A

Contributing/Non-Contributing: Since the Kenai Bible Church is not yet fifty years old, and initial research did not provide evidence of Exceptional Importance, this building would not be a contributing property if located within the KTHD. It is also incompatible in size and design with the historic buildings of the District.

Historical Significance: This property is associated with the period of community growth in Kenai following World War II.

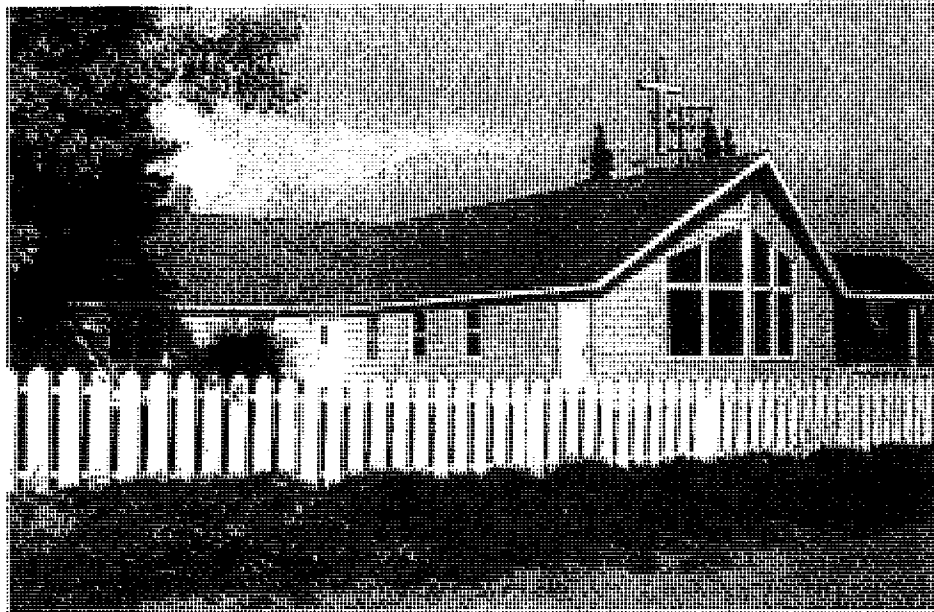


Figure 62. Kenai Bible Church, south and west elevations, 1995.
Photo by S.H. Elliott

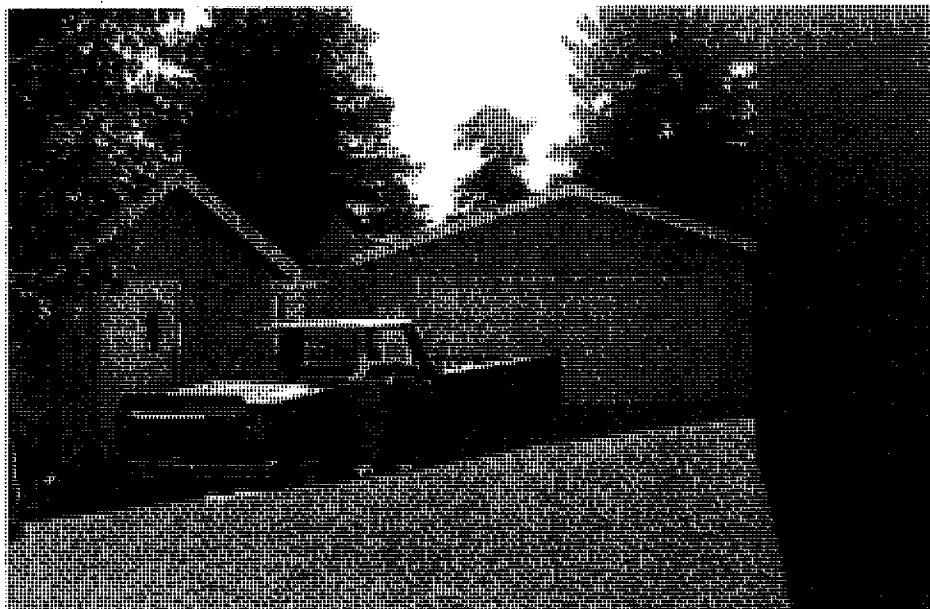


Figure 63. Residence and storage structure, Kenai Bible Church, north elevation, 1995. Photo by S.H. Elliott.

Map#: J AHRS#: KEN-281 Property Type: Other: Government

Property Name: Civic League Building

Address: 818 Cook Avenue

Legal Description: Original Townsite, Lot 3, Block 17

Date of Construction: 1954

Condition: Good

Description: The frame building measures 60' by 28'2". It sits on a concrete perimeter sill. The roof is a gable covered with standing-seam metal roofing. The eastern section of the roof (approximately one-quarter of the whole roof) has a higher ridgeline and greater roof overhang than the corresponding western section. Roof extensions protect two single doors on the facade (west elevation). Siding is asbestos shingle. Five large jalousie windows admit light into the facade of the western portion of the building. A similar window is cut into the eastern portion of the south elevation.

History and Physical Changes: The building was constructed in 1954 with volunteer labor. The J. H. Pomeroy Construction Company (the construction contractor for the Wildwood Army Base) donated building materials. The property served as a community center, housing many public facilities and groups. The public library and courthouse were located here, and the building was also used for church services and as a schoolroom. Evening meetings such as the Civic League (forerunner of today's city management) and Homemakers Club were held in the building. When Kenai incorporated in 1950, the west end of the Civic League building provided heated storage for the city's fire truck. The two east rooms housed the health nurse and the first city offices. A preschool now operates in the building.

Outbuildings: None

Integrity: N/A; the building's exterior appearance has changed only slightly from its original appearance, however.

Associated Historic Theme: None; associated with Kenai's Post-War Community Growth period.

Appearance at End of Period of Significance: N/A

Contributing/Non-Contributing: Since the Kenai Civic League building is not yet fifty years old and initial research did not provide evidence of Exceptional Importance by National Register standards, it would not be a contributing property if located within the KTHD. Its size and style are incompatible with historic buildings in the KTHD.

Historical Significance: This property is an excellent example of a municipal building constructed during the period of community growth in Kenai that followed World War II.

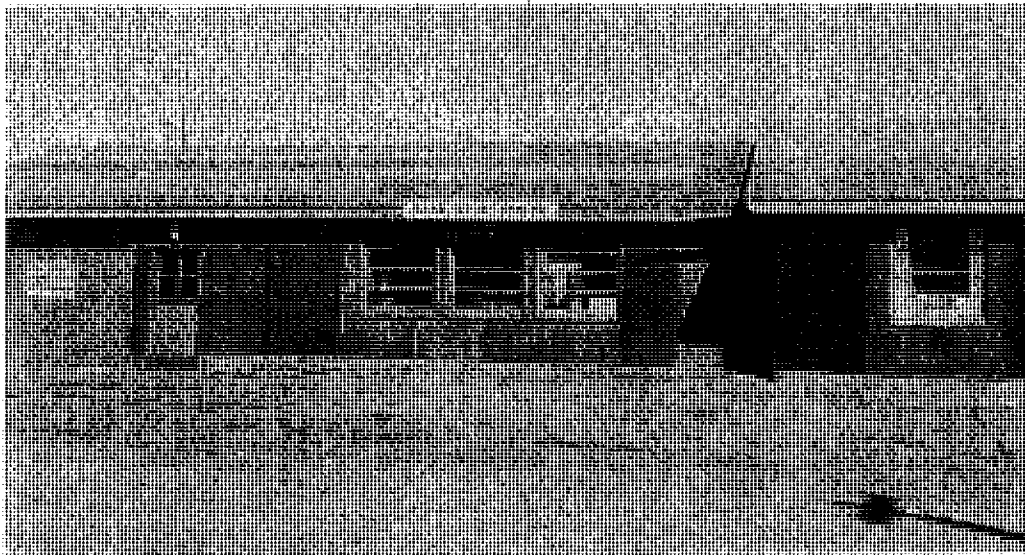


Figure 64. Kenai Civic Center, south elevation, c.1954. Photo courtesy Peggy Arness.

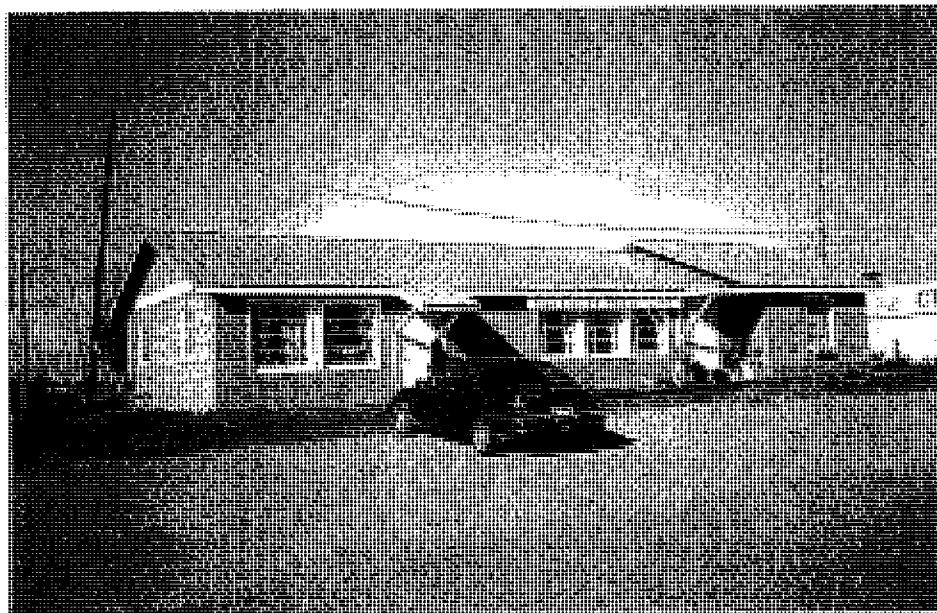


Figure 65. (former) Kenai Civic Center, (now) Kenai Co-operative Pre-School, south elevation, 1995. Photo by S.H. Elliott.

Map#: K AHRS#: KEN-282 Property Type: Other: Government

Property Name: Kenai Firehall & Jail

Address: 816 Cook Avenue

Legal Description: Original Townsite, Lot 3, Block 17

Date of Construction: 1955 and 1957 Condition: Good

Description: This concrete block building has an L-shaped plan. It measures 62' on the facade and 90' deep and 32'4" across the rear elevation. A single metal door and metal double doors are located on the facade (south elevation). Large square wood-shingled areas with centered, fixed-glass single-pane windows flank the single door. Two barred windows are located near the back of the building. The roof is flat with a parapet; the foundation is concrete slab.

History and Physical Changes: Using mostly volunteer labor, the Firehall was constructed in 1955. Four evenly spaced overhead doors for vehicles, and a standard entry door were originally located on the facade. In 1957, the Jail was added to the rear of the building. After the Kenai Police and Fire Departments moved to a new facility in 1973, the building was leased for one dollar per year to the newly-formed Kenai Arts Council. In 1980 the building was renovated into a gallery and artists' workshop. At this time, two of the Firehall doors were infilled with concrete block and two other doors were infilled with a window surrounded with wood shingles.

Outbuildings: None

Integrity: N/A; the current exterior appearance of the Firehall & Jail, however, is only slightly changed from its original appearance. Although the four large overhead door openings have been infilled, the building has sustained no other alterations, and the infilling can be removed if necessary.

Associated Historic Theme: None; associated with Kenai's Post-War Community Growth period.

Appearance at End of Period of Significance: N/A

Contributing/Non-Contributing: Since the Kenai Firehall and Jail is not yet fifty years old and initial research did not provide evidence of Exceptional Importance by National Register standards, it would not be a contributing property if located within the KTHD. Its size and style are incompatible with historic buildings in the KTHD.

Historical Significance: This property is an excellent example of a municipal building constructed during the period of community growth in Kenai that followed World War II.

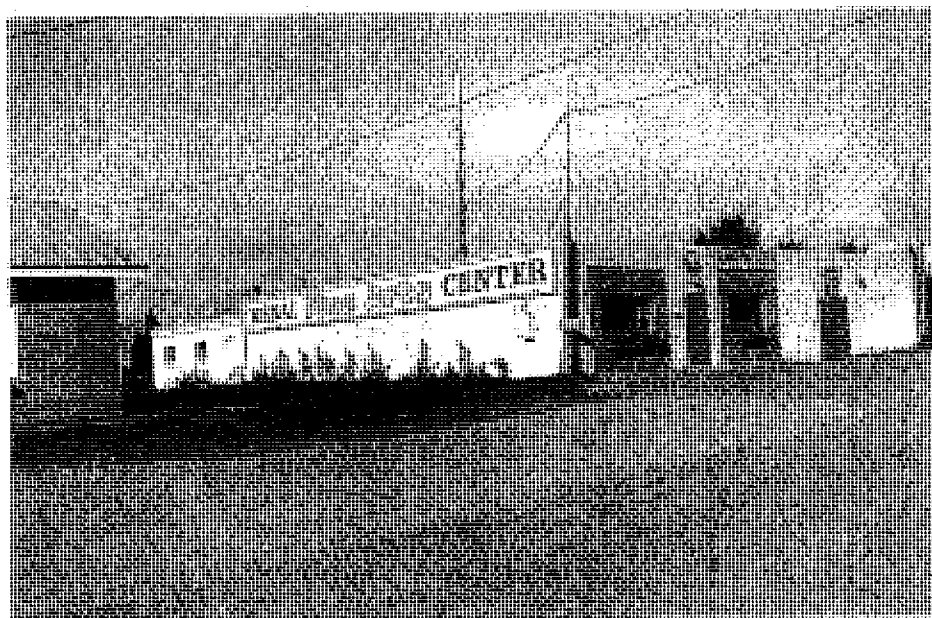


Figure 66. (former) Kenai Firehall & Jail, (now) Kenai Fine Arts Gallery, south and west elevations, 1995. Photo by S.H. Elliott.

POST-STATEHOOD DEVELOPMENT, 1959-1996

All fourteen properties associated with this period are located within the KTHD. Properties are categorized by original use.

Residential

517 Overland, c1960s
Stanford House, 1970
Mysing Office, 1975
Petterson House, 1975
Foss House, 1990-92

Residential, Multiple Occupancy

Bay Arms Apartments (south, one bldg.), 1967
Bay Arms Apartments (north, three bldgs.), 1967
Toyon Villa Apartments, 1968
504B Upland (4-plex), 1978
501 Overland Street (4-plex), 1978
1010 Alaska Avenue (tri-plex), 1993-95

Residential and Other: Commercial

Tom's Auto Electric Repair, c1960s

Other: Commercial

"Fort Kenay," 1967
Beluga Lookout RV Park, 1992

Map#: 14 AHRS: N/A Property Type: Residence

Property Name: 517 Overland Street

Legal Description: Original Townsite, southwesterly 75 feet of the northwesterly 40 feet of Lot 4, Block 5

Date of Construction: c1960s

Condition: Fair

Description: The building is frame construction with T1-11 siding. It has a built-up flat roof. Rectangular in plan, it measures 41'5" by 25'9" with an arctic entry on the west elevation. Windows are varied in size and design.

History and Physical Changes: The building was constructed circa 1960 and has been lived in by a succession of individuals including Ken Thomas, Ward Showalter and Elliott Reed. Thomas, a local fireman, lived here from approximately 1962 to 1965, and operated a jewelry repair store in the building. The property is currently rental housing.

Outbuildings: None

Integrity: N/A

Associated Historic Theme: None; associated with Kenai's (ongoing) Post-Statehood Development Period.

Appearance at End of Period of Significance: N/A

Contributing/Non-Contributing: Since the 517 Overland property is not yet fifty years old and initial research did not provide evidence of its Exceptional Importance by National Register standards, it is not a contributing property in the KTHD. It is incompatible in design and construction materials with historic buildings in the KTHD.

Historical Significance: None



Figure 67. 517 Overland Street, west and north elevations, 1995.
Photo by S.H. Elliott.

Map#: 26 AHRS#: N/A Property Type: Residence

Property Name: Stanford House

Address: 507 Overland Street

Legal Description: Original Townsite, Lot 4, Block 5, except the southwesterly 75 feet of the northwesterly 40 feet

Date of Construction: 1970

Condition: Good

Description: The Stanford House measures 62' by 24' and is rectangular in plan. It is wood frame construction covered with vinyl siding and sits on a concrete block basement. The gable roof is covered with asphalt shingles. Window style is horizontal sliding. A concrete porch with wrought-iron railing is located on the west elevation.

History and Physical Changes: The House and outbuildings were constructed by Lonzy Stanford in 1970. He and his family continue to live here. There have been no alterations to the exterior of the residence.

Outbuildings: A large 40' by 33'3" detached garage sits behind the house to the east. It has a concrete slab foundation and T1-11 siding. Other outbuildings include a 12' by 12' wood frame greenhouse and a small plywood shed.

Integrity: N/A

Associated Historic Theme: None; associated with Kenai's (ongoing) Post-Statehood Development period.

Appearance at End of Period of Significance: N/A

Contributing/Non-Contributing: Since the Stanford House is not yet fifty years old and initial research did not provide evidence of its Exceptional Importance by National Register standards, it is not a contributing property in the KTHD. It is incompatible in design, size, and construction materials with historic buildings in the KTHD.

Historical Significance: None

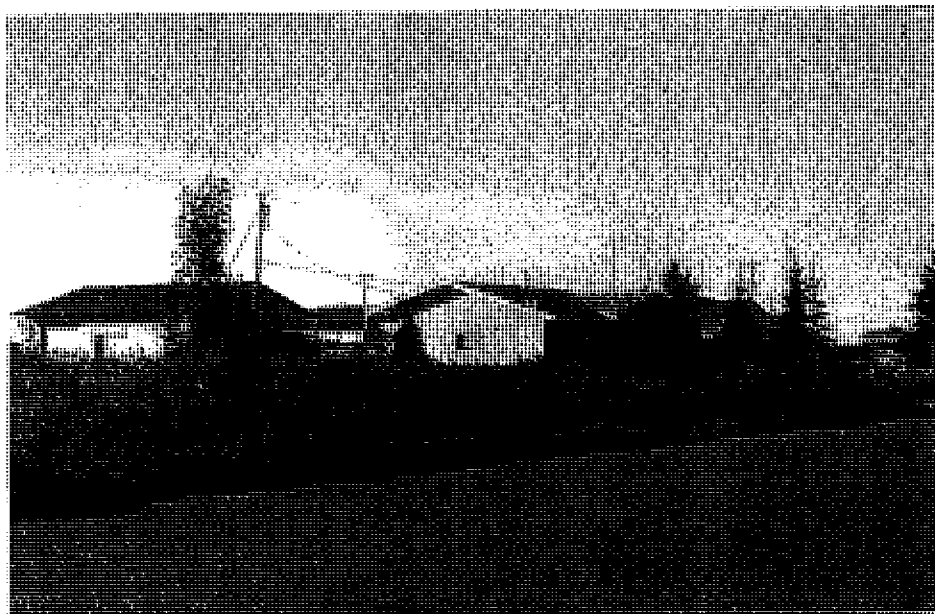


Figure 68. Stanford House and Garage, north and west elevations, 1995. Photo by S.H. Elliott.

Map#: 28 AHRS#: N/A Property Type: Residence

Property Name: Mysing Office

Address: 606 Petersen Way

Legal Description: Tract A-1B, Petersen Subdivision Addition No. 3.

Date of Construction: 1975

Condition: Good

Description: The frame building has a T-shaped floor plan. The main portion measures 44' by 24' and the wing, which extends north, measures 16' by 24'. The foundation is concrete slab. T1-11 siding covers the building. The shallow-pitched gable roof is covered with composition shingles. The entry lies on the east elevation and consists of a centered, single wood door flanked by large casement windows. With the exception of three large fixed-pane windows which face the Inlet, windows are large casement ones. Decorative horizontal planking covers the gable ends of the building.

History and Physical Changes: The building was designed and constructed in 1975 by Jim Arness and his son Joe to provide a residence for his mother-in-law, Jettie Petersen, and her sister, Enid McLane. The two women lived there from 1975 to approximately 1987. The building was then briefly a residential rental property until 1989, when Peter Mysing purchased it and remodeled the interior to use as his law office. The exterior has not been altered.

Outbuildings: None

Integrity: N/A

Associated Historic Theme: None; associated with Kenai's (ongoing) Post-Statehood Development period.

Appearance at End of Period of Significance: N/A

Contributing/Non-Contributing: Since the Mysing Office building is not yet fifty years old and initial research did not provide evidence of Exceptional Importance by National Register standards, it is not a contributing property in the KTHD. It is not compatible with the historic properties in the KTHD in scale, materials or design.

Historical Significance: During the twelve years when Jettie Petersen lived here she was instrumental in compiling information for the book Once Upon the Kenai, and also received the Governor's Award for Volunteerism. The building is associated with Kenai's Post-Statehood Development Period.

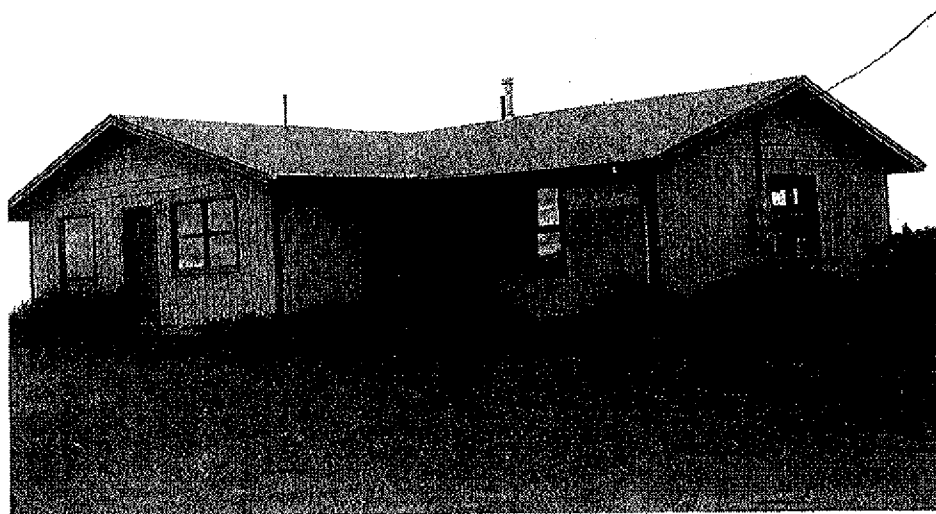


Figure 69. Mysing Office, east and north elevations, 1995. Photo by S.H. Elliott.

Map#: 27 AHRS#: N/A Property Type: Residence

Property Name: Petterson House

Address: 1007 Mission Avenue

Legal Description: Original Townsite, Lot 1B, Block 6
(resubdivision of Lot 1)

Date of Construction: 1975

Condition: Good

Description: The residence has a rectangular plan measuring approximately 60' by 20'. It is a tall one-story building with gable roof, T1-11 siding, single panel metal doors and windows of various design.

History and Physical Changes: The house was built in 1975 by Ralph Petterson who continues to live there with his family. There have been no alterations to the exterior of the residence.

Outbuildings: A large garage/shop, sided with T1-11 siding, a frame storage shed, a greenhouse, and a smokehouse are located to the east of the residence.

Integrity: N/A

Associated Historic Theme: None; associated with Kenai's (ongoing) Post-Statehood Development period.

Appearance at End of Period of Significance: N/A

Contributing/Non-Contributing: Since the Petterson House is not yet fifty years old and initial research did not provide evidence of its Exceptional Importance by National Register standards, it is not a contributing property in the KTHD. It is incompatible in design and construction materials with historic buildings in the KTHD.

Historical Significance: None



Figure 70. Petterson House and Garage/Shop, north and west elevations, 1995. Photo by S.H. Elliott.

Map#: 31 AHRS#: N/A Property Type: Residence

Property Name: Foss House

Address: 504 Mission Avenue

Legal Description: That portion of Government Lot 36 as per QCD 92
@ 229 KRD

Date of Construction: 1990-92

Condition: Good

Description: This residence is a frame building on concrete block footings. The building is almost square, measuring 33'3" by 28'5". The main entry is via a single metal door on the east elevation. An enclosed gable entry provides a secondary entrance on the north elevation. Horizontal cedar siding, thermopane windows, and six inches of insulation make this the "dream house" of the builder.

History and Physical Changes: This building, a rental property, was constructed over the years from 1990 to 1992 by Arthur "Swede" Foss, a long-time Kenai resident. Although he has worked primarily as a fisherman, "Swede" Foss is truly a jack-of-all-trades and has been employed in many fields.

Outbuildings: None

Integrity: N/A

Associated Historic Theme: None; associated with Kenai's (ongoing) Post-Statehood Development period.

Appearance at End of Period of Significance: N/A

Contributing/Non-Contributing: Since the Foss House is not yet fifty years old and initial research did not provide evidence of its Exceptional Importance by National Register standards, it is not a contributing property in the KTHD. It is not compatible with historic properties in the KTHD in size, materials or design.

Historical Significance: None

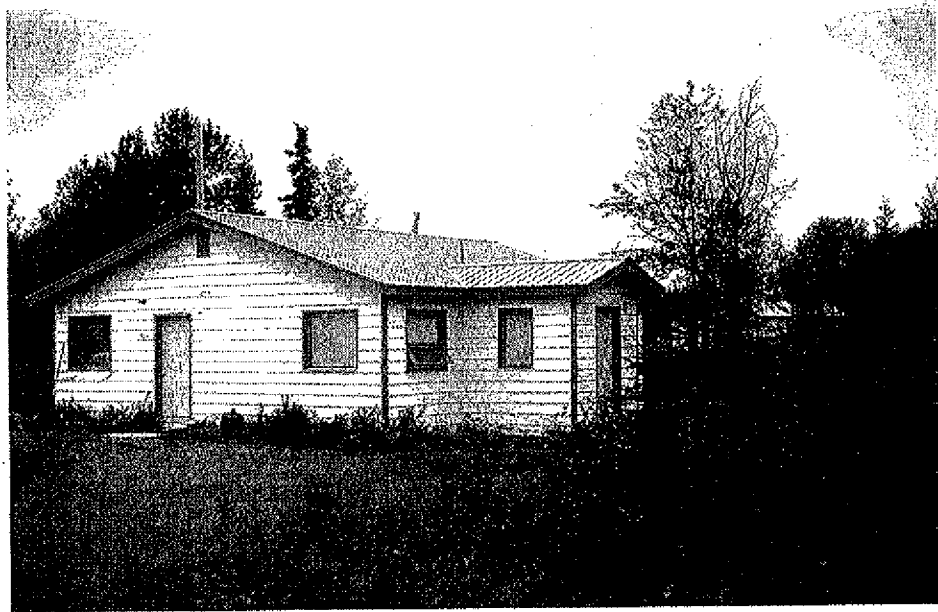


Figure 71. Foss House, east elevation, 1995. Photo by S.H. Elliott.

Map#: 24 AHRS#: N/A Property Type: Residence

Property Name: Bay Arms Apartments (south, one building)

Address: 1013 Alaska Street

Legal Description: Original Townsite, Lot 5, Block 14 except the northwesterly 55 feet

Date of Construction: 1967

Condition: Good

Description: This apartment complex consists of an L-shaped frame building constructed on the edge of the bluff. The building measures 92' by 99' and sits on a concrete perimeter foundation beam. It has a gable roof and is sheathed in cedar siding. The complex is two stories facing north and three facing south (down slope). An enclosed stair located in the corner of the building provides access to the second level. An open deck with railing runs the length of the second floor on the north and east elevations. Sliding glass doors open to individual wood decks on the rear (south) elevation. All decks are protected by the roof overhang.

History and Physical Changes: The Bay Arms Apartments were designed by architect Arthur Bonnel in 1966 and constructed in early 1967. The original owner, Wayne Cherrier, still owns it. The building has not been modified.

Outbuildings: None

Integrity: N/A

Associated Historic Theme: None; associated with Kenai's Post-Statehood Development Period.

Appearance at End of Period of Significance: N/A

Contributing/Non-Contributing: Since the Bay Arms Apartments (south) is not yet fifty years old and initial research did not provide evidence of its Exceptional Importance by National Register standards, it is not a contributing property in the KTHD. It is incompatible in scale, design and construction materials with historic buildings in the KTHD.

Historical Significance: None



Figure 72. Bay Arms Apartments (south), north elevation, 1995. Photo by S.H. Elliott.

Map#: 23 AHRS#: N/A Property Type: Residence

Property Name: Bay Arms Apartments (north, three buildings)

Address: 1101 Alaska Street

Legal Description: Original Townsite, Lot 5, Block 14 except the northwesterly 55 feet

Date of Construction: 1967

Condition: Good

Description: This apartment complex consists of three, two-story buildings which form three sides of a square around internal parking. All are 25' wide with lengths varying from 164' to 192' to 197'. The apartment buildings are frame with stucco siding (decorative wood battens are located at six foot intervals). The buildings have low pitch gable roofs with composition shingles and concrete perimeter-beam foundations.

History and Physical Changes: The Bay Arms Apartments were designed by architect Arthur Bonnel in 1966 and constructed in early 1967. The original owner, Wayne Cherrier, still owns it. The building has not been modified.

Outbuildings: None

Integrity: N/A

Associated Historic Theme: None; associated with Kenai's Post-Statehood Development period.

Appearance at End of Period of Significance: N/A

Contributing/Non-Contributing: Since the Bay Arms Apartments (north) Complex is not yet fifty years old and initial research did not provide evidence of its Exceptional Importance by National Register standards, it is not a contributing property in the KTHD. It is incompatible in scale, design and construction materials with historic buildings in the KTHD.

Historical Significance: None

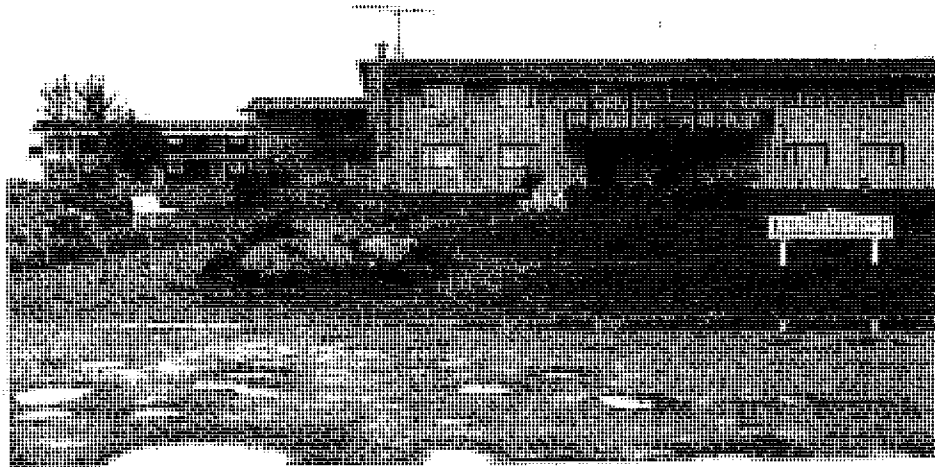


Figure 73. (Left to right) Bay Arms Apartments (south), Bay Arms Apartments (north), north elevations, 1995. The Russian Orthodox Church park and Mission Avenue are in the foreground. Photo by S.H. Elliott.



Figure 74. (Left to right) Holy Assumption of the Virgin Mary Russian Orthodox Church, Bay Arms Apartments (south), south elevations, 1995. Photo by S.H. Elliott.

Map#: 25 AHRS#: N/A Property Type: Residence

Property Name: Toyon Villa Apartments

Address: 1001 Mission Avenue

Legal Description: Toyon Subdivision, Lot 1

Date of Construction: 1968

Condition: Good

Description: The apartment building is a long rectangle measuring 341' by 30'. It is wood frame and steel construction covered with stucco and T1-11 siding. Composition shingle covers the gable roof. The foundation is concrete block. Front and rear elevations are each five bays long. Enclosed entrances, strip windows, recessed sections and storage areas highlight the south elevation. The rear (north) elevation is punctuated by triple-section casement windows and sliding glass doors leading from each apartment to covered decks.

History and Physical Changes: The building was constructed in 1968 by Hickel Construction Company. At that time Toyon Villa faced directly onto the bluff. In 1992, the Beluga Lookout RV Park was built between the apartment building and the bluff. No changes have occurred to the exterior of the building.

Outbuildings: None

Integrity: N/A

Associated Historic Theme: None; associated with Kenai's Post-Statehood Development period.

Appearance at End of Period of Significance: N/A

Contributing/Non-Contributing: Since the Toyon Villa Apartments are not yet fifty years old and initial research did not provide evidence of their Exceptional Importance by National Register standards, these apartments are not a contributing property in the KTHD. The property is incompatible in scale, design and construction materials with historic buildings in the KTHD.

Historical Significance: None



Figure 75. Toyon Villa Apartments, north elevation, 1995. Photo by S.H. Elliott.

Map#: 30 AHRS#: N/A Property Type: Residence

Property Name: 504B Upland Street (Four-plex)

Address: 504B Upland Street

Legal Description: Original Townsite, Lot 13, Block 5

Date of Construction: 1978

Condition: Good

Description: The four-plex is a rectangle measuring 76'4" by 26'5". It is frame construction and has a concrete pile foundation. Roofing material is composition shingle, and siding is T1-11. It is a split-level design, and the entry is via a single panel door with sidelights, which is centered on the west elevation. Large sliding and fixed-glass windows provide light to the apartments. A four-unit storage area, with gable roof and T1-11 siding, is attached to the east end of the building. The building is identical to a sister four-plex (501 Overland Street) which lies immediately southwest.

History and Physical Changes: This building and the 501 Overland property were constructed in 1978 by Johnny Andrews, a local resident. Both four-plexes have had several owners, and are currently owned separately. Neither exterior has been altered.

Outbuildings: None

Integrity: N/A

Associated Historic Theme: None; associated with Kenai's (ongoing) Post-Statehood Development period.

Appearance at End of Period of Significance: N/A

Contributing/Non-Contributing: Since the 504B Upland Street property is not yet fifty years old and initial research did not provide evidence of its Exceptional Importance by National Register standards, it is not a contributing property in the KTHD. It is incompatible in scale, design and construction materials with historic buildings in the KTHD.

Historical Significance: None

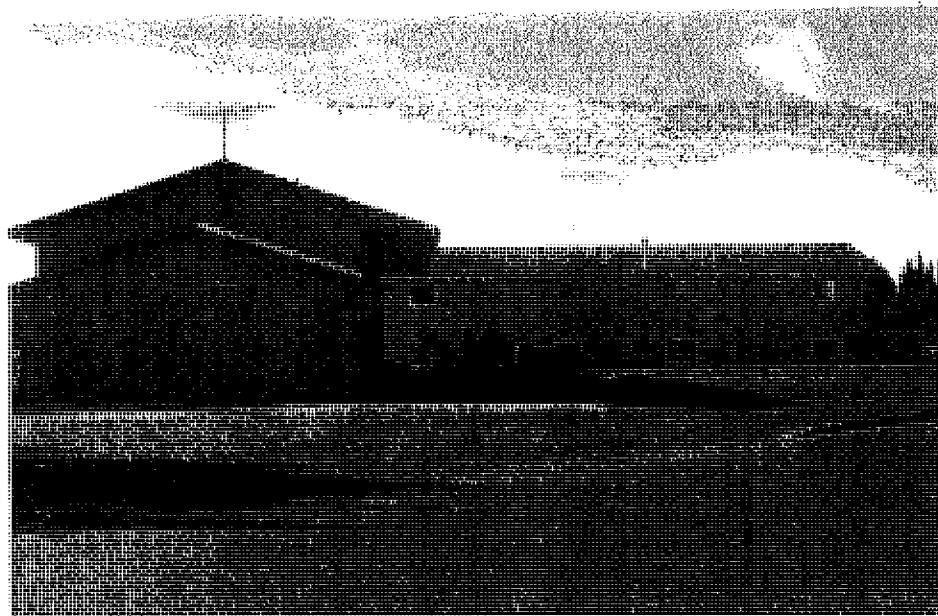


Figure 76. Foreground: Four-plex, 504B Upland Street, background: 501 Overland Street, east elevation, 1995. Photo by S.H. Elliott.

Map#: 29 AHRS#: N/A Property Type: Residence

Property Name: 501 Overland Street (Four-plex)

Address: 501 Overland Street

Legal Description: Original Townsite, Lot 1, Block 5

Date of Construction: 1978

Condition: Good

Description: The four-plex is a rectangle measuring 76'4" by 26'5". It is frame construction with a concrete pile foundation. Roofing material is composition shingle and siding is T1-11. The building is a split-level design, and the entry is via a single panel door with sidelights, centered on the west elevation. Large sliding and fixed-glass windows provide light to the apartments. A four unit storage area, with gable roof and T1-11 siding, is attached to the south end of the building. This building is identical to a sister four-plex (504B Upland Street) which lies immediately northeast.

History and Physical Changes: This building and the Upland Street property were constructed in 1978 by Johnny Andrews, a local resident. Both four-plexes have had several owners, and are currently owned separately. The exteriors have not been altered.

Outbuildings: A metal storage unit is butted to the north end of the building.

Integrity: N/A

Associated Historic Theme: None; associated with Kenai's (ongoing) Post-Statehood Development period.

Appearance at End of Period of Significance: N/A

Contributing/Non-Contributing: Since the 501 Overland Street property is not yet fifty years old and initial research did not provide evidence of its Exceptional Importance by National Register standards, it is not a contributing property in the KTHD. It is incompatible in scale, design and construction materials with historic buildings in the KTHD.

Historical Significance: None

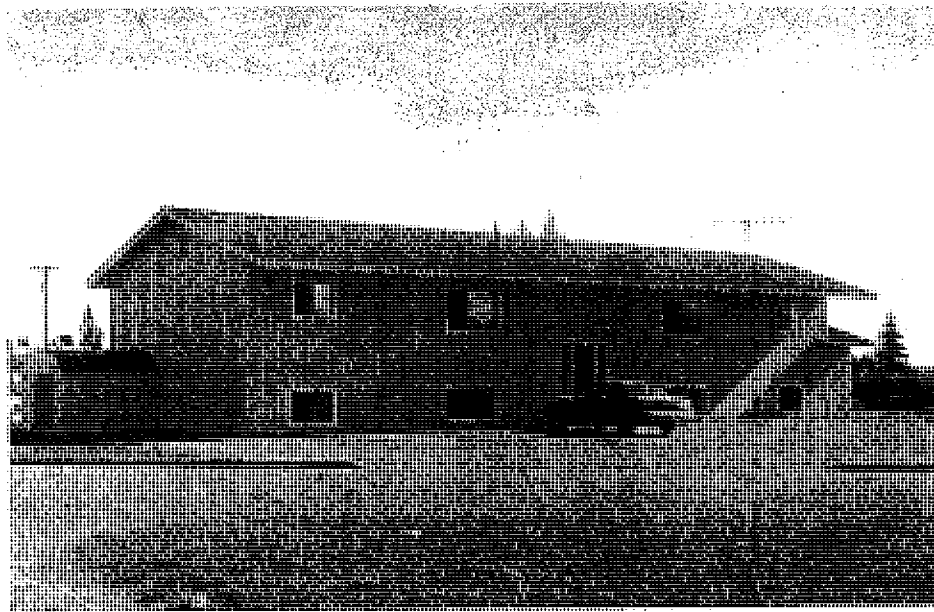


Figure 77. Four-plex, 501 Overland Street, west and north elevations, 1995. Photo by S.H. Elliott.

Map#: 33 AHRS#: N/A Property Type: Residence

Property Name: 1010 Alaska Avenue (Tri-plex)

Address: 1010 Alaska Avenue

Legal Description: Original Townsite, southeast ½ of
Lot 2, Block 6

Date of Construction: 1993-1995 Condition: Good

Description: This frame tri-plex measures 53' by 35'6". It has a rectangular plan, a flat roof and is two stories in height. Living areas are located over three single vehicle garages. Siding is predominantly flush wood applied vertically, with some sections of tile and board and batten. Small decks, casement windows and a setback on front and rear elevations provides interest to the boxy building.

History and Physical Changes: Although almost finished, the tri-plex is still under construction.

Outbuildings: None

Integrity: N/A

Associated Historic Theme: None; associated with Kenai's Post-Statehood Development Period.

Appearance at End of Period of Significance: N/A

Contributing/Non-Contributing: Since the 1010 Alaska Avenue property is not yet fifty years old and initial research did not provide evidence of its Exceptional Importance by National Register standards, it is not a contributing property in the KTHD. It is incompatible in scale, design and construction materials with historic buildings in the KTHD.

Historical Significance: None

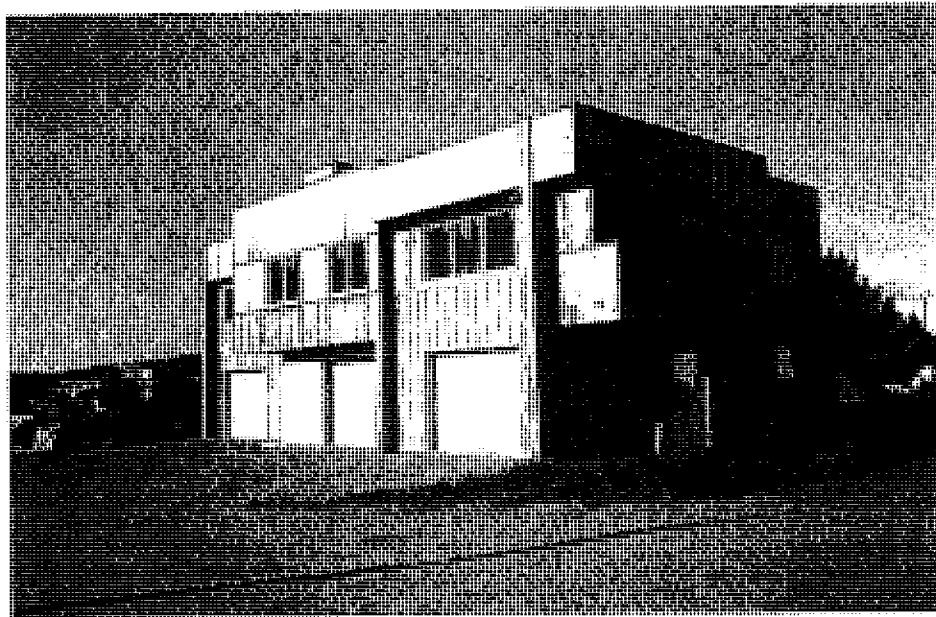


Figure 78. Tri-plex, 1010 Alaska Avenue, south and east elevations, 1995. Photo by S.H. Elliott.

Map#: 17 AHRS#: N/A Property Type: Residence and
Other: Commercial

Property Name: Tom's Auto Electric Repair

Address: 506 Upland Street

Legal Description: Original Townsite, Lot 23, Block 5, excepting a portion

Date of Construction: c1960s

Condition: Fair

Description: The residence is a trailer with a frame addition and square wood deck. The overall dimensions are 26' by 37'8". The trailer is skirted with plywood.

History and Physical Changes: The history of the trailer is unknown. It was on-site when the present owner purchased the property in 1980. The outbuilding was constructed by the owner in the early 1980s.

Outbuildings: A frame shop measuring fifteen feet by twenty-five feet lies to the north of the trailer. It is a one-story structure with a gable roof of corrugated plastic over 2x4s. It has a dirt floor and side walls of heavy tarp stretched over a wood frame. It is used as a commercial repair shop.

Integrity: N/A

Associated Historic Theme: None; associated with Kenai's Post-Statehood Development Period.

Appearance at End of Period of Significance: N/A

Contributing/Non-Contributing: Since Tom's Auto Electric Repair is not yet fifty years old and initial research did not provide evidence of its Exceptional Importance by National Register standards, it is not a contributing property in the KTHD. It is incompatible in design and construction materials with historic buildings in the KTHD.

Historical Significance: None

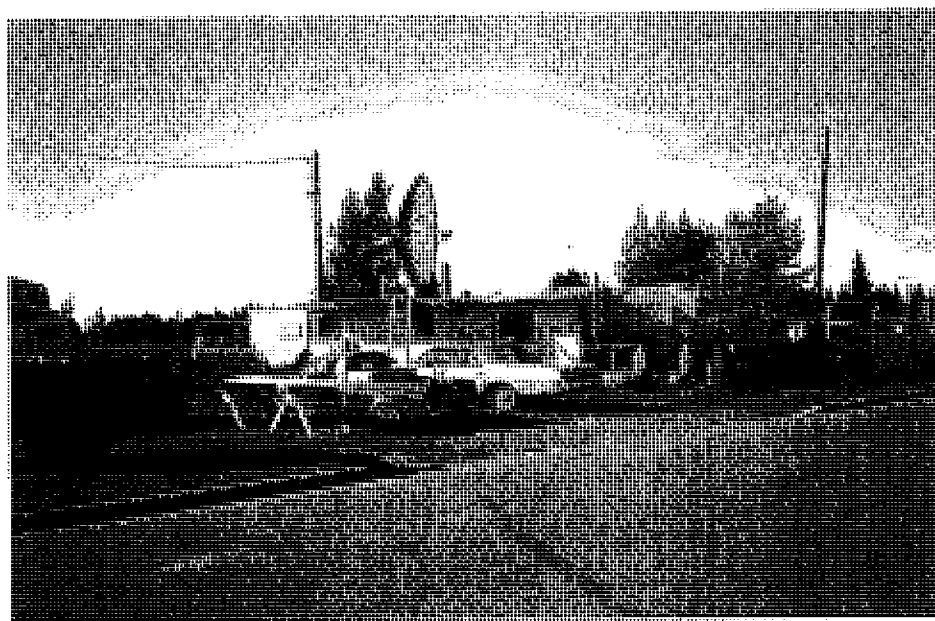


Figure 79. Tom's Auto Electric Repair, residence and shop, south elevation, 1995. Photo by S.H. Elliott.

Map#: 18 AHRS#: KEN-048 Property Type: Other: Commercial

Property Name: "Fort Kenay"

Address: 1104 Mission Avenue

Legal Description: That portion of USS 192 leased to the City of Kenai per lease 25

Date of Construction: 1967

Condition: Good

Description: "Fort Kenay" is a tall, two-story rectangle measuring 31'6" by 60'. It is constructed of round machined logs with saddle-notched ends. An open gable entry is located on the facade (south elevation). Stairs leading to a second story entrance are attached to the west end wall. Casement windows are found throughout the building. Two large frame additions extend to the east. The log portion of the building sits on a concrete perimeter beam foundation with a crawl space.

History and Physical Changes: Built in 1967 by local contractors for Alaska's Centennial celebration, this property is a representation of the original Fort Kenay (1869). It cannot be considered a reconstruction since it is built of machined logs and has casement windows. Two frame additions were added circa 1980. The building operated as an historical museum (the original intention behind its construction) for one year. It now houses the offices and gift shop of the Kenaitze Tribe, IRA.

Outbuildings: The area immediately behind the building on the north is enclosed with chain link fence and contains four relocated log cabins. They are the Miller Cabin (KEN-268); the Arness Cabin (KEN-265); the Three Scandinavians' Cabin (KEN-266); and Cabin #3 (KEN-267). These cabins were open to visitors during the year "Fort Kenay" operated as an historical museum. The area is now closed and can only be viewed through the fence.

Integrity: N/A

Associated Historic Theme: None; the building is associated with Kenai's (ongoing) Post-Statehood Development Period.

Appearance at End of Period of Significance: N/A

Contributing/Non-Contributing: Since the "Fort Kenay" building is not yet fifty years old and initial research did not provide evidence of Exceptional Importance by National Register standards, it is not a contributing property in the KTHD. It is also incompatible with the District's historic buildings in design, scale, workmanship, and construction materials.

Historic Significance: "Fort Kenay" represents an effort of the community to commemorate Kenai's heritage and promote local tourism.

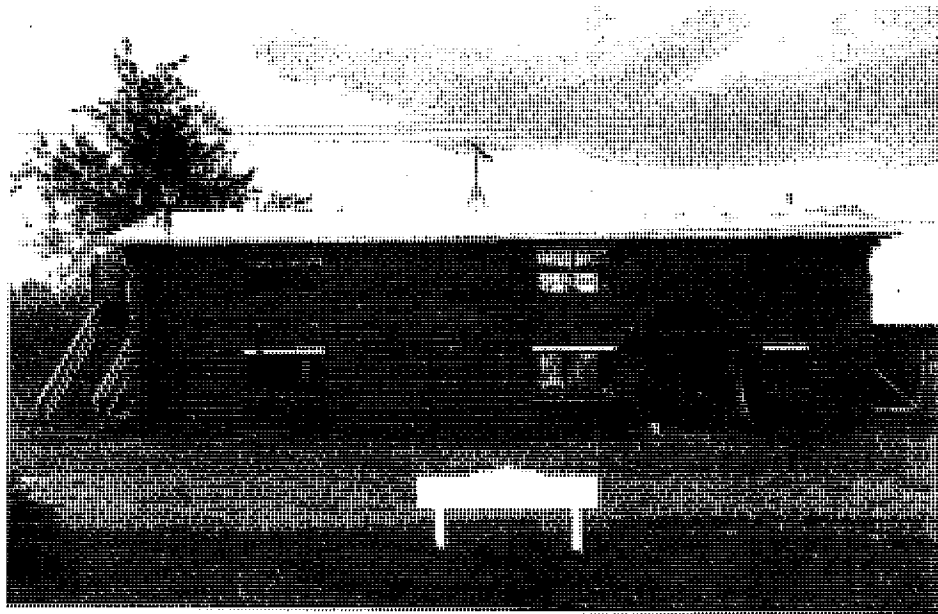


Figure 80. "Fort Kenay", south elevation, 1995. Sign for the Holy Assumption of the Virgin Mary Russian Orthodox Church Park in foreground. Photo by S.H. Elliott.

Map#: 32 AHRS#: N/A Property Type: Other: Commercial

Property Name: Beluga Lookout RV Park

Address: 929 Mission Avenue

Legal Description: Toyon Subdivision, Lot 2

Date of Construction: 1992

Condition: Good

Description: The Beluga Lookout RV Park occupies the level area between Toyon Villa Apartments and the bluff face. The three-acre park has 81 RV hook-ups and 33 pull-through spaces for vehicles. The park office is located in a 21'8" by 85'5" two-story, log building located on the western end of the property. It is constructed of machined logs with a structure of wood and steel. An open porch with projecting shed roof runs the length of the west elevation. A stair to the second story door is attached to the north end wall. Windows are large panes of fixed glass. In addition to the office, the building includes laundry and showers, a meeting room, rental apartments, and living quarters for the owners.

History and Physical Changes: The multi-purpose building was designed and built by the owners, Paul and Sandra Vozar, in 1992. The exterior has not been modified.

Outbuildings: None

Integrity: N/A

Associated Historic Theme: None; associated with Kenai's Post-Statehood Development period.

Appearance at End of Period of Significance: N/A

Contributing/Non-Contributing: Since the Beluga Lookout RV Park is not yet fifty years old and initial research did not provide evidence of its Exceptional Importance by National Register standards, it is not a contributing property in the KTHD. It is incompatible in scale, design and construction materials with historic buildings in the KTHD.

Historical Significance: None

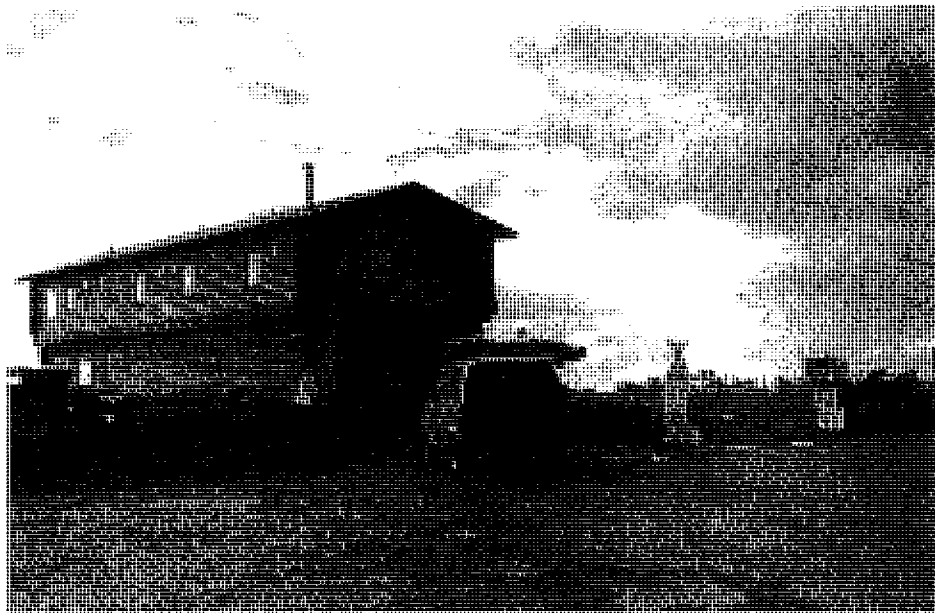


Figure 81. Beluga Lookout RV Park Office, north and east elevations, 1995. Photo by S.H. Elliott.

**SECTION V: EVALUATION OF PROPERTIES IN THE
KENAI TOWNSITE HISTORIC DISTRICT SURVEY**

SECTION V: EVALUATION OF PROPERTIES IN THE KENAI TOWNSITE HISTORIC DISTRICT SURVEY

Evaluation Criteria

As introduced in Section I, the criteria used to evaluate the surveyed properties in the Kenai Townsite Historic District is the criteria used by the National Register of Historic Places. The decision to use National Register standards was based on their objectivity, uniformity and comprehensiveness, in addition to their nationally-recognized applicability and acceptance. Because one of the purposes of the KTHD survey was to determine if the locally-designated historic district might also qualify as a National Register district, the use of National Register criteria was essential for accurate assessment of the properties.

There are four criteria by which objects, structures, buildings, sites and districts may be judged eligible for the National Register:

Criterion A

Properties that are associated with events that have made a significant contribution to the broad patterns of our history.

Criterion B

Properties that are associated with the lives of persons significant in our past.

Criterion C

Properties that embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.

Criterion D

Properties that have yielded, or may be likely to yield, information important in prehistory or history.

(National Register Bulletin #15)

In addition to its association with at least one of these criteria, a property must also embody the following qualities: "integrity of location, design, setting, materials, workmanship, feeling, and association. It must retain historic integrity of those features necessary to convey its significance (Ibid)." National Register Bulletin #15 describes these qualities as the Seven Aspects of Integrity:

Location

The place where the historic property was constructed or the place where the historic event occurred. The relationship between the property and its location is often important to understanding why the property was created or why something happened, . . . and [is] particularly important in recapturing the sense of historic events and persons. Except in rare cases, the relationship between a property and its historic associations is destroyed if the property is moved.

Design

The combination of elements that create the form, plan, space, structure, and style of a property. Design includes such elements as organization of space, proportion, scale, technology, ornamentation, and materials. It also [takes into consideration the property's] massing, arrangement of spaces, and pattern of fenestration. For districts, . . . it applies to the way in which buildings, sites, or structures are related, for example, spacial relationships between major features . . . and visual relationships in a streetscape.

Setting

The physical environment of a historic property. Setting refers to the character of the place in which the property played its historical role. It involves how, not just where, the property is situated and its relationship to surrounding features and open space. Setting often reflects the basic physical conditions under which a property was built and the functions it was intended to serve. Physical features that constitute the setting of a historic property . . . include topographic features, vegetation, paths or fences, and the relationships between buildings and other features or open space.

Materials

The physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property. The choice and combination of materials reveals the preferences of those who created the property and indicate the availability of particular types of materials and technologies. Indigenous materials . . . help define an area's sense of time and place. A property must retain the key exterior materials dating from the period of its historic significance. A property whose historic features and materials have been lost and then reconstructed is usually not eligible.

Workmanship

The physical evidence of the crafts of a particular culture or people during any given period in history or prehistory. It the evidence of artisans' labor and skill in constructing or altering a building, structure, object, or site. Workmanship can apply to the property as a whole or to its individual components. It can be expressed in vernacular methods of construction and plain finishes . . . based on common traditions or innovative period techniques. Examples of workmanship in historic buildings

include tooling, carving, painting, graining, turning, and joinery.

Feeling

A property's expression of the aesthetic or historic sense of a particular period of time. It results from the presence of physical features that, taken together, convey the property's historic character. For example, a rural historic district retaining original design, materials, workmanship, and setting will relate the feeling of agricultural life in the 19th century.

Association

The direct link between an important historic event or person and historic property. A property retains association if it is the place where the event or activity occurred and is sufficiently intact to convey that relationship to an observer. Like feeling, association requires the presence of physical features that convey a property's historic character. Because feeling and association depend on individual perceptions, their retention alone is never sufficient to support eligibility of a property for the National Register.

(Descriptions excerpted from *National Register Bulletin #15*)

Another requirement of the National Register is that properties designated as historic be fifty years old, and this standard was also applied to the KTHD properties. An exception to this rule is properties less than fifty years old that possess "exceptional importance to a community, a State, a region, or the Nation (*National Register Bulletin #22*)."

The twenty-one KTHD properties and four selected adjacent properties less than fifty years of age were each evaluated for exceptional significance. Every property in the KTHD (as well as the ten selected adjacent properties) was also evaluated for individual National Register eligibility in addition to being assessed as a contributing or non-contributing property in an historic district (Table 8).

It must be stated here, however, that National Register standards merely reflect the reality that certain criteria are necessary for attempting an objective evaluation of properties: otherwise, every building, structure, site, and object over fifty years of age would automatically be considered "historic," a circumstance that would negate the purpose the National Register. **The authors of this report wish to stress that National Register eligibility is not by any means the defining measure of a property's worth and importance.** More critical than National Register eligibility is the regard with which community residents view the property: if it is pointed out with pride to visitors, and functions as a touchstone and reference point in oral and written histories, then that property is a vital part of the community's heritage.

# on Map	Date Constructed	Contributing Property	Non-Contributing Property	National Register Eligible	Integrity	Associated Theme
34	1800s	Russian Orthodox Cemetery		Yes	Yes	ROC
1	1881	Parish House		Yes	Yes	ROC
2	1895	Holy Assumption Church		Yes	Yes	ROC
4	1906	St. Nicholas Chapel		Yes	Yes	ROC
3	1896		Edelmann/Petersen House*	No	No	ECB,KS
5	c1912-16	Wilson House		Yes	Yes	ECB,KS
6	c1918	Oskolkof/Dolchok Cabin		Yes	Yes	ECB,KS
7	c1918		March House*	No	No	ECB
19	1910		Miller Cabin* (FtK)	No	No	ECB
20	1925		Arness Cabin* (FtK)	No	No	ECB
21	c1918-25		Three Scandns' Cabin* (FtK)	No	No	ECB
22	c1918-25		Cabin 3* (FtK)	No	No	ECB
8	1935	Primary Quarters (MRH)		Yes	Yes	FP
9	1949		Quarters+ (MRH)	No	N/A	FP
10	1949		Office (MRH)	No	N/A	FP
12	1950		Boat Shed+ (MRH)	No	N/A	FP
13	1940s		Pharmacy/Jahrig Electric Co.	No	No	none
14	1950s		517 Overland Street	No	N/A	none
15	1954		Ray Gee House+	No	N/A	none
11	1957-58		Shop/Garage+ (MRH)	No	N/A	FP
16	1950s-60s		Steve King House	No	N/A	none
17	1960s		Tom's Auto Electric Repair	No	N/A	none
18	1967		"Fort Kenay"	No	N/A	none
23	1967		Bay Arms Apartments (north)	No	N/A	none
24	1967		Bay Arms Apartments (south)	No	N/A	none
25	1968		Toyon Villa Apartments	No	N/A	none
26	1970		Stanford House	No	N/A	none
27	1975		Petterson House	No	N/A	none
28	1975		Mysing Office	No	N/A	none
29	1978		501 Overland Street	No	N/A	none
30	1978		504B Upland Street	No	N/A	none
31	1990-92		Foss House	No	N/A	none
32	1992		Beluga Lookout RV Park	No	N/A	none
33	1993-95		1010 Alaska Street	No	N/A	none
A	1900s		Interlocked Moose Horn Club/Tomardle House#*	No	No	EBC
B	c1916		Hermansen/Miller Hse#*	No	No	ECB
C	1918	Lindgren/Jones House#		Yes	Yes	ECB
D	c1992	Dolchok/Juliussen Cabin#		Yes	Yes	ECB,KS
E	1930s-40s		Showalter House#*	No	No	ECB
F	1948		Kenai Comm. Co.#	No	N/A	none
G	c1950		Kenai Bible Church#	No	N/A	none
H	1952		Mann/Peters House#	No	N/A	none
J	1954		Civic League Bldg#+	No	N/A	none
K	1955/57		Kenai Firehall/Jail#+	No	N/A	none
	*	Historic property that has lost integrity		KS	Kenaitze Subsistence	
	#	Property is not located within the Kenai Townsite Historic District		ECB	Early Community Building Era	
	+	Property retains its original exterior appearance but is not yet 50 years old.		MRE	Located at former Moose Range Headquarters	
	FtK	Located at "Fort Kenay"		FP	Federal Program for Sustainable Resource Management	

Table 8. Kenai Townsite Historic District:
Contributing and Non-contributing Properties.

Historic Themes of the KTHD not Represented by Extant Properties

No properties remain in the Kenai Townsite Historic District to illustrate four of its historic themes: *Dena'ina Building Traditions*, *Russian Exploration and Fur Trade*, the *United States Purchase of Alaska*, and *Federal Programs for Agriculture*. Archaeological resources associated with three of these themes, however, have been identified within the District.

Dena'ina Building Traditions (A.D. 1000-1899)

Although the buildings and structures of this era have long since disappeared from the KTHD, a 1979 archaeological survey identified the outline of a Dena'ina barabara foundation and a circular depression (characteristic of food storage pits) near the north boundary of the District. The age of these features was estimated "at between 200 and 450 years old" (Boraas: 1979). In 1988, a commercial excavation in the vicinity of the Toyon Villa Apartments uncovered the remains of an Athabaskan gravesite estimated to date from between 1790 and 1850 (Kenai Police Department: 1988).

Russian Exploration and Fur Trade (1741-1866)

No properties survive from the period of Russian occupation, when Nikolaevsk Redoubt was in operation. The 1979 archaeological survey that identified features associated with the Dena'ina near the KTHD, however, also reported "numerous artifacts which appeared to date to at least the late 1800s and probably earlier . . . in the area just over the bluff [near the site of Fort St. Nicholas]" (Boraas: 1979). These artifacts included "a square nail and fragments of brick similar to those used during Russian times" (Ibid).

United States Purchase of Alaska, 1867 (associated properties: 1869-1870)

None of the eleven buildings and structures of Fort Kenay, established in 1869 by the U.S. Army on the site of Nikolaevsk Redoubt, remain (Fig. 9). Artifacts that may be associated with the Fort were documented in the 1979 archaeological survey. A cursory examination of the area in the vicinity of Fort Kenay (where the Chapel of Saint Nicholas now stands) uncovered "numerous artifacts which appeared to date at least to the late 1800s" (Ibid). The archaeologist reported that "excavation would doubtless reveal that this [area] is an extensive repository of early American and Russian era artifacts" (Ibid).

Federal Programs for Agriculture (1898-1908)

From 1898 until 1908, the property now associated with the former Kenai National Moose Range Headquarters Complex was the Alaska Agriculture Experimental Station. The following buildings and structures were part of the Station: a residence, barn, woodshed, blacksmith shop, and implement shed. None of these properties remain, and no archaeological reports were located during the course of the

KTHD Survey that documented the discovery of any artifacts associated with this theme.

The archaeological potential of the Kenai Townsite Historic District has been well established from previous archaeological surveys and the 1988 commercial excavation which inadvertently unearthed an Athabaskan gravesite. Based on this information, the KTHD can be considered an archaeologically sensitive area, and extreme care should be taken in conjunction with any ground-disturbing activities.

Evaluation of Survey Properties for Integrity and as Contributing or Non-Contributing Elements in the Kenai Townsite Historic District

Four historic themes -- *The Russian Orthodox Church, Early Community Building Era, Kenaitze Subsistence, and Federal Programs for Sustainable Resource Management* -- provide a context for seventeen properties within the KTHD and four properties adjacent to the District. Three properties within the KTHD and six properties adjacent to the District are associated with the general category *Post-War Community Growth*. The remaining fourteen properties in the Kenai Townsite Historic District fall under the general category *Post-Statehood Development*.

Properties associated with early Kenai occupy less than one-third of the total acreage of the KTHD. They are located primarily in the upper northwest portion of the District, with a narrow projection into the central area that contains two of the Russian Orthodox Church properties and four small (relocated) cabins. The remaining two-thirds of the Historic District is comprised primarily of buildings less than fifty years old that do not meet the National Register criteria for Exceptional Importance. The land on which the majority of the non-historic buildings stand forms a large horseshoe shape that engulfs the historic Russian Orthodox Church properties and the Early Community Building Era properties on the south and east.

The Period of Significance for the Kenai Townsite Historic District is 1881 through 1925, the years when the majority of the historic properties in the District were constructed.

This time period is represented by the historic themes of the Russian Orthodox Church, the Early Community Building Era, and Kenaitze Subsistence.

The primary significance of the locally-designated Kenai Townsite Historic District is that buildings, structures, and a site (the Russian Orthodox Cemetery) from the City's early years as a village still remain, providing physical evidence of the lifeways and building traditions of Kenai prior to 1946.

An evaluation of each of the properties in the KTHD Survey, grouped by historic theme and (non-historic) general category follows.

The Russian Orthodox Church (1881-1906)

Four properties represent this theme:

Russian Orthodox Cemetery (1800s)

Parish House/Rectory (1881)

Holy Assumption of the Virgin Mary Russian Orthodox Church (1898)

Chapel of Saint Nicholas (1906)

A fifth property formerly associated with the Russian Orthodox Church, the Old Russian Schoolhouse (early 1900s), used to occupy the land where the "Fort Kenay" building now stands. The schoolhouse was demolished by the property owner in 1957.

Each of the four Russian Orthodox Church properties is a National Historic Landmark, and together they comprise a National Historic Landmark District. In addition to their architectural significance, the properties are also important because of the Church's role as a religious, educational, and social institution in early Kenai. The properties have retained their physical integrity because very few alterations have been made to them over the years, and for this reason their basic appearance remains essentially the same as it was during their period of significance. Although their historic Setting has been compromised to some extent by non-compatible construction adjacent to the National Historic Landmark District, the elements of Design, Workmanship, and Feeling are still particularly strong.

The Russian Orthodox Church properties are integral elements of the Kenai Townsite Historic District.

Early Community Building Era (1898-1925)

The eight properties in the KTHD associated with this theme are:

Edelmann/Petersen House and outbuilding (1896)
Wilson House (c1912-1916)
Oskolkof/Dolchok Cabin (c1918)
March House and outbuilding (c1918)
**Three Scandinavians' Cabin* (c1918-1925)
**Cabin #3* (c1918-1925)
**Miller Cabin* (1910/1930)
**Arness Cabin* (1925)
(*located in the "Fort Kenay" compound)

Survey properties adjacent to the KTHD associated with this theme are:

Interlocked Moose Horn Club/Tomrdle house (early 1900s)
Hermansen/Miller House (c1916)
Lindgren/Jones House (1918)
Dolchok/Juliussen Cabin (c1922)

Early Community Building Era properties were evaluated for eligibility under National Register Criterion C. The Edelmann/Petersen and Lindgren/Jones properties were also examined for possible eligibility under Criterion B.

Edelmann/Petersen House

Although the owner took great care during the property's reconstruction to reuse original materials and replicate joinery, the new second story addition to the Edelmann/Petersen house has noticeably altered the original massing and scale of the building. Alterations to the west and south elevations have also markedly changed its historic appearance. Because of this, its Design and Workmanship have been compromised. The property retains its historic Location, but the fortress-like Bay Arms Apartment Complex directly adjacent to the east elevation has drastically altered the building's historic Setting. Because of the distinctive joinery and hand-worked logs, however, the building conveys a definite historic Feeling to someone walking toward it from the northeast.

The *small log outbuilding* (Tommy Foster cabin) associated with the Edelmann/Petersen property retains the qualities of Location, Design, Materials, Workmanship and Feeling associated with an historic property. Its Setting, however, no longer resembles that of the historic period. Its physical condition is very poor: it is collapsing into its foundation, due to many years of neglected maintenance.

Because the Edelmann/Petersen property does not embody a sufficient percentage of the Seven Aspects of Integrity, it is not individually eligible for the National Register under Criterion C, and is not a contributing property in the KTHD by National Register standards.

It is possible that the Edelmann/Petersen house could qualify for individual listing on the National Register under Criterion B, but more research is needed in order to make this determination. As the home of Jettie Petersen, well-known for her community activism, this building is associated with a person who was significant in shaping local history. The researcher would need to document that Mrs. Petersen lived in this house during her years of greatest influence to the community, however, because the National Register specifically requires that "properties associated with individuals whose accomplishments date from the last fifty years must possess exceptional significance to be listed in the National Register." (National Register Bulletin #32)

Wilson House

Oskolkof/Dolchok Cabin

Although each home has received additions over the years, the additions have not significantly compromised either property's basic historic appearance, as the Design and Workmanship of the buildings as originally constructed is still recognizable. Most of the construction Materials are a combination of original fabric and compatible replacement material. Both properties are in their original Locations, and also retain their original Setting. Both project an historic Feeling associated with Kenai's Early Community Building and Kenaitze Subsistence eras: their scale is representative of buildings in these historic periods, and no incompatible construction is adjacent to either property.

The Wilson House and the Oskolkof/Dolchok Cabin each retain their historic integrity, are individually eligible for the National Register, and are both significant contributing properties in the KTHD.

March House

Front and rear additions to the building have drastically altered the Design (massing) of the property as originally constructed. New Materials have also changed the property's historic appearance and obscured the original Workmanship, and it does not convey historic Feeling. Although the property does exhibit integrity of Setting and Location, it has not retained the other components of architectural integrity.

The *outbuilding* (garage/storage shed) associated with the March house has retained its historic integrity, however. Although it is in poor condition, the basic form (Design) of this structure remains unaltered, the construction Materials are original, and the

Workmanship is apparent. The former garage also retains its historic Location and Setting, and projects strong historic Feeling.

Because the March property does not embody a sufficient percentage of the Seven Aspects of Integrity, it is not individually eligible for the National Register under Criterion C, and is not a contributing property in the KTHD by National Register standards.

Three Scandinavians' Cabin, Miller Cabin, Cabin #3, and Arness Cabin Located in a fenced compound behind the "Fort Kenay" building, these properties were problematic to assess for National Register eligibility and as contributing or noncontributing elements in the District. Each building exhibits the majority of elements required for architectural integrity: the Design, Materials, and Workmanship of the cabins are readily discernible and each property projects strong historic Feeling associated with the District's Early Community Building Era theme. These buildings, however, were moved to their present site in the 1970s, and therefore do not possess integrity of Location or Setting, aspects which are critical for National Register listing.

Although there is some leeway for interpretation when applying the National Register criteria to moved properties, this occurs more frequently when a property has been moved individually to a site similar to its original location and setting. Even though the four cabins were spared almost certain demolition by relocating them behind "Fort Kenay," the National Register's position on artificially created property groupings is explicit:

an artificially created grouping of buildings, structures, or objects is not eligible unless it has achieved significance since the time of its assemblage. It cannot be considered as a reflection of the time period when the individual buildings were constructed.

(National Register Bulletin #15)

By application of this standard, the *Three Scandinavians' Cabin, Miller Cabin, Cabin #3, and Arness Cabin* are not individually eligible for the National Register, nor can they be considered contributing properties in a National Register historic district. According to National Register standards, they are not contributing properties in the KTHD.

Interlocked Moose Horn Club/Tomrdle House

This building is the only surveyed property associated with the Early Community Building Era theme that was constructed specifically for social/commercial purposes (hunting club). Because it has received extensive alterations over the years, such as an added wing, enclosed basement entrances and enclosed entry and porch, the property does not look as it did during the period of significance. This has

compromised its Workmanship and Design. Since it was moved to its present site in the late 1940s, it also lacks integrity of Location and Setting. It does retain a portion of its original construction Materials, and projects a certain amount of historic Feeling.

Because the *Interlocked Moose Horn Club/Tomrdle House* does not retain a sufficient percentage of its historic integrity, it is not individually eligible for the National Register, and would not be a contributing property if located in the KTHD.

Hermansen/Miller House

This property adjacent to the KTHD has received numerous alterations, such as an added dormer, vinyl siding, replacement of original multi-pane windows with large single panes, and removal of a hip-roofed bay. These changes compromised the Design, Workmanship, and Materials of the building, changing its historic appearance.

Although the *Hermansen/Miller House* remains in its original Location, and exhibits some historic Feeling (in the respect that one can sense it was not recently constructed), the many alterations to the property have rendered it not eligible for individual National Register listing. If the *Hermansen/Miller House* were located within the boundaries of the KTHD, it would not be a contributing property in the District.

Lindgren/Jones House

This property, adjacent to the District, is the largest surviving residence from the Early Community Building Era, and has retained a higher proportion of historic integrity than any of the private residences within the KTHD. Two relatively minor changes to the building-- replacement of the root cellar with a basement, and a rear shed addition--have not diminished its original appearance. It exhibits integrity of Design, Workmanship, Materials, and Location. It also conveys strong historic Feeling. The Setting of the property has changed somewhat over the years, however, due to the disappearance of properties within its viewshed and the subsequent new construction visually adjacent to the building's north, south, and east elevations. The *Lindgren/Jones house* is in extremely poor physical condition, as the property has received little or no maintenance for many years. It is currently undergoing demolition by neglect.

An *outbuilding* owned by the current property owner of the *Lindgren/Jones house* (but not directly associated with the historic property) is the small cabin sited southeast of the house. It is one of the small cabins originally located on the *Edelmann/Petersen property*. The cabin is in extremely poor condition due to decades of neglect. Although it does not retain integrity of Location or Setting, it exhibits integrity of Design, Workmanship, Materials, and Feeling.

Because the Lindgren/Jones House strongly embodies six of the Seven Aspects of Integrity, it is individually eligible for the National Register under Criterion C, and would be a contributing property in the KTHD if located within District boundaries.

Subsequent to its period of historic significance, the Lindgren/Jones property was also Associated with a person important during the Post-War Community Growth period: Helen Jones, a nurse who for many years was the only person providing medical care to Kenai residents. With her husband Cecil, she also operated the Kenai Commercial Company store. A determination of individual eligibility for the Lindgren/Jones property to the National Register under Criterion B, however, is incumbent upon further research that documents Mrs. Jones' significance in Kenai during its Post-War Community Growth Period.

Dolchok/Juliussen Cabin

Even though this property has received several modifications since it was first constructed, these changes have not significantly altered the building's historic Design. The cabin has retained its integrity of Materials and Workmanship, and is immediately recognizable as an historic building (Feeling). The property is also associated with the historic theme of Kenaitze Subsistence.

Although originally located within KTHD boundaries (on Overland Street across from the former Moose Range Headquarters) and moved to its present location in the 1950s, its present location is similar to its historic site (small residential neighborhood, similar topographical features and vegetation patterns). For these reasons, its integrity of Setting and Location has not been irreparably compromised.

The Dolchok/Juliussen Cabin retains its historic integrity, and would be a significant contributing property if located within the KTHD.

Federal Programs for Sustainable Resource Management (1935-1958)

The original properties at this location, associated with the theme *Federal Programs for Agriculture*, no longer exist. The remaining properties at 502 Overland Street are associated with the Alaska Game Commission (Primary Quarters, 1935) and the Kenai National Moose Range Headquarters (KNMRH):

<i>Primary Quarters</i>	(1935)
<i>Quarters</i>	(1949)
<i>Office</i>	(1949-51)
<i>Shop/Garage</i>	(1957-58)
<i>Boat Shed</i>	(1950s)

Only one of the properties, the Primary Quarters, is over fifty years old. Initial research conducted for the KTHD Survey did not indicate that the other KNMRH properties less than fifty years old were of Exceptional Importance: none were associated with significant events, people, or architecture. For this reason, the remaining four properties are not yet eligible for the National Register, unless further in-depth research can establish Exceptional Importance (as defined in *National Register Bulletin #15*).

An evaluation of the physical integrity of the KNMRH properties is provided in this section because these properties represent an historic theme of the District, and because several of the properties are nearing the fifty-year mark. While the information is not technically relevant for purposes of current National Register eligibility, it can be used as a baseline assessment against which to measure any future changes to the KNMRH properties.

Primary Quarters

The former manager's residence has received no alterations except for the replacement of the deteriorated wood foundation with a basement (1950) and the addition of decorative wooden shutters. Its current appearance is virtually unchanged from the time of its construction. For this reason, it displays integrity of Design, Materials, Workmanship and Feeling. It also retains integrity of Location and Setting.

The Primary Quarters is individually eligible for the National Register and is a contributing property in the KTHD.

Quarters, Shop/Garage, Boat Shed

The exterior appearance of each of these properties remains the same as when they were constructed. They display integrity of Design, Materials, Workmanship, Location and Setting. Feeling was difficult to assess. Although the Quarters building, Shop/Garage, and Boat Shed display a high percentage of the aspects required for historic integrity, they are not yet fifty years old. Initial research conducted during preparation of the Survey Report did not indicate Exceptional Importance. For this reason, their National Register integrity cannot be officially evaluated.

The Quarters, Shop/Garage, and Boat Shed of the (former) Kenai National Moose Range Headquarters complex are not yet eligible for the National Register and they are not contributing properties in the KTHD.

Office, (former) Kenai National Moose Range Headquarters complex
The primary portion of this building is a military surplus Quonset hut (c1942-44) moved from Kodiak to its present location in 1949. Subsequently, three wood frame additions were attached to the Quonset in 1951, 1963, and 1972-74. Although the original Quonset shape remains recognizable, the many incompatible additions have compromised the basic Design integrity of the building. Despite the fact that the property displays some measure of Workmanship and Materials, and retains its Location and Setting, these aspects are overpowered by its lack of Design integrity.

The Office is not individually eligible for the National Register nor is it a contributing property in the KTHD.

Post-War Community Growth Period (1946-1958)

The nine properties in the survey area associated with this general category represent both Residential and Other: Commercial and Government property types. Only three properties (*) in the Post-War Community Growth category are within the boundaries of the KTHD.

One residential property constructed after the Early Community Building era but prior to the Post-War Community Growth period is the Showalter House. It is included in this section because it does not represent any other themes or general categories established for the KTHD Survey, but its construction date is close to the beginning date of the Post-War Community Growth Period.

Showalter House	(c1930s-1940s)
Mann/Peters House	(1952)
*Ray Gee House	(1954)
*Steve King House	(c1950s)
*Pharmacy/Jahrig Electric Company	(c1940s)
Kenai Commercial Company	(1948)
Kenai Bible Church	(c1950s)
Civic League Building	(1954)
Kenai Firehall & Jail	(1955/57)

None of the preceding properties in the general category Post-War Community Growth are eligible individually for the National Register, or eligible as part of an historic district. They are non-contributing properties in the Kenai Townsite Historic District.

There are two reasons for this:

1. Only two properties, the Showalter House and the Pharmacy/Jahrig Electric Company, are fifty-plus years old, and neither property has retained its historic integrity under Criterion C of the National Register.
2. Initial research provided no documentation to indicate that any of the properties possessed Exceptional Importance according to National Register Standards: they are not associated with significant events, people, or architecture. Because seven of the properties are not yet fifty years old, they were not officially evaluated for historic integrity under Criterion C. Integrity is necessary in order for a property to be contributing in an historic district.

Although the integrity of the seven properties less than fifty years old was not officially assessed, their original appearance is compared to their current appearance (where possible) in this evaluation section. This assessment is useful because many of the properties in the Post-War Community Growth category are nearing the fifty-year mark. At that time, some may be eligible individually or eligible as part of an historic district for listing on National Register.

Showalter House

Although estimated to be over fifty years old, the addition of a new entry, the removal of an original entry (changing the property's orientation), and replacement of the original windows have altered this property to the extent that it no longer retains its historic integrity. It is, however, compatible in terms of materials, scale and design with the historic properties in the KTHD.

Mann/Peters House

Extensive remodeling (1978) has significantly altered the exterior appearance of this property as originally constructed in 1952. It is not compatible in scale, design, materials, or workmanship with historic properties in the District.

Ray Gee House

Although not yet fifty years old, this property retains its exterior appearance as originally constructed, and is an excellent example of a residential property constructed in Kenai during the period of Post-War Community Growth. It is not a contributing property in the District, but it is compatible in materials, scale and design to the District's historic properties.

Steve King House

The original appearance of this property (moved to its original site from Kasilof) could not be determined. It is in poor condition, and not compatible in appearance with the District's historic properties.

Pharmacy/Jahrig Electric Company

The exterior appearance of the former pharmacy/electric company, (originally part of the Northwestern Cannery complex), has been extensively altered since it was relocated to its present site in the late 1940s/early 1950s. Due to the many changes to its exterior, the property has not retained its historic integrity and is not eligible either individually or as part of the KTHD for the National Register. The building is, however, noteworthy as the only commercial property in the District that dates from the Post-War Community Growth period. Although not a contributing property in the KTHD, it is compatible in scale with the District's historic properties.

Kenai Commercial Company

This commercial property, although once significant as the main supply store for the Kenai community, has not retained its historic integrity. Any vestiges of its 1948 appearance disappeared when the building was remodeled in 1985. It is not compatible with the historic properties in the KTHD due to its design (massing), materials, and workmanship.

Kenai Bible Church

No photographs of the building as originally constructed could be located. Although the Church is not compatible with the historic properties in the KTHD in terms of design, scale, materials, and workmanship, it is noteworthy as the first Protestant church in Kenai.

Civic League Building

Kenai Firehall and Jail

Although the exterior of each property has received minor alterations, both buildings retain their original appearance. The Civic League Building and the Kenai Firehall and Jail are excellent examples of municipal buildings constructed during Kenai's Post-War Community Growth period. These properties are not, however, compatible with the historic properties in the KTHD.

Post-Statehood Development (1959-1996)

The fourteen properties in the survey area associated with this general category represent both **Residential** and **Other: Commercial** property types. Construction dates for the properties range from the 1960s through 1995. All properties are within the boundaries of the Kenai Townsite Historic District.

Residential

517 Overland Street	(c1960s)
Stanford House	(1970)
Mysing Office	(1975)
Petterson House	(1975)
Foss House	(1990-92)

Residential, Multiple Occupancy

Bay Arms Apartments	(south, one bldg., 1967)
Bay Arms Apartments	(north, three bldg., 1967)
Toyon Villa Apartments	(1968)
504B Upland	(four-plex, 1978)
501 Overland Street	(four-plex, 1978)
1010 Alaska Avenue	(tri-plex, 1993-95)

Residential and Other: Commercial

Tom's Auto Electric Repair	(c1960s)
----------------------------	----------

Other: Commercial

"Fort Kenay"	(1967)
Beluga Lookout RV Park	(1992)

None of the preceding properties in the general category Post-Statehood Development Period are eligible individually for the National Register, or eligible as part of an historic district. They are all non-contributing properties in the Kenai Townsite Historic District.

The Post-Statehood Development properties are not eligible for the National Register because:

- 1) they are not yet fifty years of age, and
- 2) initial research provided no documentation to indicate that they possess Exceptional Importance according to National Register Standards: none are associated with significant events, people, or architecture.

Because the Post-Statehood Development properties are of relatively recent construction, the issue of integrity was non-applicable, and therefore not evaluated for the Survey. The Post-Statehood Development properties are non-contributing in the Kenai Townsite Historic District because a property must have integrity in order to be contributing.

All the Post-Statehood Development properties are intrusive elements within the Historic District. Many of these properties, especially the multiple residences, overpower the District's historic properties in terms of scale and massing. All the Post-Statehood Development properties are incompatible with the District's older properties in Design, Workmanship, and Materials. They have severely compromised the historic Setting of the Russian Orthodox Church properties and the Early Community Building Era homes surrounding the Church.

Conclusion

Only seven of the thirty-four properties within the Kenai Townsite Historic District possess historic integrity and are contributing properties in the Kenai Townsite Historic District (Table 8), according National Register criteria:

- Russian Orthodox Cemetery
- Parish House
- Holy Assumption of the Virgin Mary Russian Orthodox Church
- Chapel of Saint Nicholas
- Wilson House
- Oskolkof/Dolchok Cabin
- Primary Quarters (former Kenai National Moose Range Headquarters)

The remaining twenty-seven KTHD properties do not qualify for the National Register and are not contributing properties in the Kenai Townsite Historic District according to the criteria of the National Register. This is due to three factors:

- 1) the property has lost historic integrity because of exterior alterations that have obscured its original form
- 2) the property is part of an artificial grouping of buildings
- 3) the property is less than fifty years old and not of Exceptional Importance by National Register standards.

Of the ten properties adjacent to the KTHD that were evaluated for the Survey, only two meet National Register standards for historic integrity:

Lindgren/Jones House
Dolchok/Juliussen Cabin

For a locally-designated historic district to qualify as a National Register historic district, at least fifty-one percent of its properties must retain historic integrity. Based on this standard, the Kenai Townsite Historic District does not qualify as a National Register historic district.

Eleven properties within the KTHD, although not significant by National Register standards, are, however, significant properties on a local level, and their continued preservation is important to Kenai's heritage:

Edelmann/Petersen House
March House
Miller Cabin
Arness Cabin
Cabin #3
Three Scandinavians' Cabin
Ray Gee House
Pharmacy/Jahrig Electric Company
All of the buildings and structures that comprise the former
Kenai National Moose Range Headquarters

Each of these properties represents an era of development in Kenai's two-hundred year history. Some, like the Jahrig Electric building or the Ray Gee House, are the only properties remaining of their type (or date of construction) within the KTHD. The Edelmann/Petersen House is noteworthy as the oldest private residence within the KTHD, and also for its association with Jettie Petersen, an individual particularly significant in Kenai's development during the Post-War Community Growth Period.

The former Kenai National Moose Range Headquarters properties, although not yet fifty years old (except for the Primary Quarters) are important properties in the KTHD, as they represent a significant federal conservation management program in Alaska. Also important is the fact that these properties (with the exception of the Office) have retained their appearance as originally constructed.

Similarly, although only two of the ten surveyed properties adjacent to the KTHD qualify as historic by National Register standards, all of these properties are significant in terms of Kenai's heritage. Of particular note are the Showalter and Tomrdle houses, representing (respectively) a 1930s-1940s era residence of Kenai Village, and one

of Kenai's first social clubs. Kenai Bible Church is important as Kenai's first Protestant church. The two municipal buildings represent Kenai's post-War transition from village to town.

Locally-Designated Historic Districts, National Register Historic Districts, and Preservation Planning

Although the Kenai Townsite Historic District does not qualify as a National Register Historic District, it has a vital role in historic preservation planning for the Old Town community. The value of the locally-designated KTHD lies in its power of design review of new construction and additions to existing construction. In this respect, the locally-designated historic district is a more valuable preservation tool than a National Register historic district because "National Register listing does not provide for a design review process, [and] properties listed only in the National Register can be readily and easily altered or demolished by anyone not using federal funds" (*Maintaining Community Character*: 1992, 9). A locally-designated historic district, however, can develop its own criteria for what constitutes an historic property, based on what is important to that particular community:

Local significance, attitudes, and contemporary events will affect what a community views as important. It is therefore possible to include in a local district resources such as ... moved buildings and properties less than 50 years old which ordinarily are not considered National Register-eligible. The primary strength of local designation is that it is tailored to specific community needs and provides greater protection for local resources (Ibid).

In Kenai's transition from small town to city, many buildings significant to Kenai's heritage have been lost due to fire, demolition, or neglect. The importance of the surviving properties to the City of Kenai cannot be overstated: they provide Kenai with a sense of place and a continuity with its past. Preservation of these buildings, structures and sites adds a richness and texture to the built environment, offering a welcome respite from the often unyielding uniformity of modern construction. The following Section, VI, will offer recommendations on planning for the continued preservation of the historic resources in the KTHD.

SECTION VI: RECOMMENDATIONS

VI: RECOMMENDATIONS

As summarized in the preceding Section V: Evaluation, the properties that comprise the Kenai Townsite Historic District, although significant on a local level to Kenai's heritage, do not meet the requirements for a National Register Historic District. Based on this finding, the authors of this Survey Report **do not recommend that the City of Kenai pursue a National Register Historic District nomination for the KTHD.**

During the course of the Survey, however, it became apparent that some individual properties within the KTHD, as well as several adjacent properties, could likely qualify for the National Register on an individual basis. Other properties, once they reach fifty years of age in the very near future (three to five years) could be eligible as part of a National Register Multiple Property nomination. Based on the findings of the Survey, the following recommendations are offered for the continued preservation of the historic properties in and adjacent to the Kenai Townsite Historic District:

1) Urge the owners of the following historic properties to stabilize their structure or building to mitigate its further deterioration:

- outbuilding, Edelmann/Petersen House (Tommy Foster Cabin)
- small cabin by Lindgren/Jones House (originally sited near Foster Cabin)
- outbuilding, March House (garage/storage structure)
- Lindgren/Jones House
- Dolchok/Juliussen Cabin

Technical advice and printed materials on stabilizing historic properties is available from the State of Alaska Office of History and Archaeology (OHA), the National Park Service (NPS), and the National Trust for Historic Preservation (NTHP). At least one of these agencies should be consulted for guidance prior to undertaking repairs or stabilization. Offering a financial incentive, such as a tax rebate, might encourage property owners in the District to preserve these historic buildings and structures.

2) The City of Kenai should consider purchasing the Lindgren/Jones House and the Dolchok/Juliussen Cabin. These homes are important buildings in Kenai's history, currently undergoing demolition by neglect. They should both be integral elements of the Kenai Townsite Historic District, and their useful life could be extended by careful restoration, maintenance and habitation.

The Lindgren/Jones House and the Dolchok/Juliussen Cabin could each be utilized as a residence for visiting writers, naturalists, artists, or researchers involved in projects designed specifically to further public knowledge and understanding of Kenai's pre-historic, historic or natural resources. The properties could be managed by an organization such as the Kenai Fine Arts Council, the Kenai Visitors and Convention Bureau, the Kenai Chamber of Commerce, or the Council for Tourism and Economic Development. A carefully screened applicant would then be allowed to live in the building rent-free for up to one year while working on his or her project. In return, this individual would share the process and the results of the project with the community while providing basic maintenance and security for the property. Community groups might be willing to provide landscaping and landscape maintenance.

3) Conduct additional research on the following properties, and consider nominating them individually to the National Register

- Edelman/Petersen House (Criterion B)
- Lindgren/Jones House (Criteria B and C)
- Wilson House (C)
- Oskolkof/Dolchok Cabin (C)
- Dolchok/Juliussen Cabin (C)

4) Conduct additional research on several of the properties in and adjacent to the KTHD associated with the theme *Post-War Community Growth: Kenai's Transition from Village to Town*. Submit a Multiple Property nomination to the National Register when these properties are fifty years old:

- Showalter House
- Ray Gee House
- Pharmacy/Jahrig Electric Company
- Kenai Bible Church
- Kenai Civic League
- Kenai Firehall & Jail

Although most of these buildings are not yet fifty years old, they represent a significant era in Kenai's development. Even though some properties might not be individually eligible for the National Register, they could qualify collectively as part of an historic district. Research and preparation of the National Register nomination might be accomplished by a student intern from the Kenai Peninsula College, financed with a state/federal grant. An informative publication dealing with properties such as those mentioned above is *CRM Bulletin Vol. 16, No.6: "Cultural Resources from the Recent Past,"* published by the U.S. Department of the Interior, National Park Service. Planning should begin now to protect these properties.

5) Working closely with the U.S. Fish and Wildlife Service, conduct additional research on the history of the properties at 502 Overland Street: the Alaska Agriculture Experimental Station, the Alaska Game Commission, and the Kenai National Moose Range Headquarters. Wait until the majority of the buildings and structures of the former Kenai National Moose Range Headquarters are fifty years old (2000) and nominate these properties collectively to the National Register as a National Historic District. If a strong case could be made for the Exceptional Importance of these properties, the nomination could be submitted sooner. As with the Multiple Property nomination for the Post-War Community Growth properties, the work for this project might be accomplished in conjunction with Kenai Peninsula College. These properties are an important part of Kenai's history and plans for their documentation and continued preservation should be made as soon as possible.

6) Encourage the Kenaitze Indian Tribe Inc. to nominate the land contained within the boundaries of the KTHD to the National Register as a Traditional Cultural Property. Since so few buildings and structures remain within the KTHD that can be associated with the Kenaitze presence in this area, this nomination would serve to strengthen the heritage value of the District. A Traditional Cultural Property, as described in *National Register Bulletin #38: Guidelines for Evaluating and Documenting Traditional Cultural Properties*:

can be defined generally as one that is eligible for inclusion in the National Register because of its association with cultural practices or beliefs of a living community that are rooted in that community's history and are important in maintaining the continuing cultural identity of the community.

7) Additional archaeological testing within the Kenai Townsite Historic District, such as the testing currently being conducted by the State of Alaska Office of History and Archaeology in conjunction with the Department of Transportation prior to paving Mission Street, is highly recommended.

8) Using the information compiled in this Survey Report, create a Historic Preservation Plan (accomplished in two phases) for the KTHD. Particular attention should be given to design review guidelines and on-going community education to encourage property owner support of historic preservation.

9) Compilation of a reference materials library by the Historic District Board to assist the City of Kenai in its preservation planning efforts. In addition to the books and articles cited in the Bibliography of the Survey Report, the following publications (some available through the OHA and the NPS) are recommended:

Preservation Brief #4: Roofing for Historic Buildings (National Park Service, U.S. Department of the Interior)

Preservation Brief #8: Aluminum and Vinyl Siding on Historic Buildings: The Appropriateness of Substitute Materials for Resurfacing Historic Wood Frame Buildings; (National Park Service, U.S. Department of the Interior)

Preservation Brief #14: New Exterior Additions to Historic Buildings: Preservation Concerns (National Park Service, U.S. Department of the Interior)

Preservation Brief #26: The Preservation and Repair of Historic Log Buildings (National Park Service, U.S. Department of the Interior)

Wood Decay in Houses: How to Prevent and Control It (Home and Garden Bulletin #73, U.S. Forest Service, U.S. Department of Agriculture)

The following Information Series booklets can be ordered from the National Trust for Historic Preservation (1785 Massachusetts Ave., NW, Washington, DC 20036):

Design Review in Historic Districts (\$6; Order #2185)

Reviewing New Construction Projects in Historic Areas
(\$6; Order #2162)

Design and Development: Infill Housing Compatible with Historic Neighborhoods (\$6; Order #2141)

Preservation of Historic Burial Grounds (\$6; Order #2176)

Preparing a Historic Preservation Plan (\$24; Order #2PRE)

Innovative Tools for Historic Preservation (\$24; Order #2INN)

Local Government and Historic Preservation (\$10; Order #2LOC)

Conclusion

The locally-designated Kenai Townsite Historic District is an important component in the continuing effort to preserve Kenai's significant heritage resources. Now that the baseline information on its properties has been collected, long-range preservation planning can begin. The benefits to the community from establishing this District will be on-going far into the future. As a writer for the National Trust for Historic Preservation observed,

Historic districts give a tangible link to the past, a way to bring meaning to history and to people's lives. Districts help explain the development of a place, the source of inspiration and technological advances. They are a record of ourselves and our communities (Pratt Cassidy, *Maintaining Community Character: How to Establish a Local Historic District*: 1992).

SECTION VII: ALASKA HERITAGE RESOURCES SURVEY

ALASKA HERITAGE RESOURCES SURVEY PROPERTIES

The properties in and adjacent to the Kenai Townsite Historic District that are listed on the Alaska Heritage Resources Survey (AHRs) are shown in the following three tables and Figure 83.

<u>AHRs</u> <u>Number</u>	<u>Property Name</u>
KEN-036	Holy Assumption of the Virgin Mary Russian Orthodox Church
KEN-048	"Fort Kenay"
KEN-061	Chapel of Saint Nicholas
KEN-074	Oskolkof/Dolchok Cabin (formerly Kenai Log Cabin #6, Dolchok Cabin)
KEN-076	Russian Orthodox Rectory (formerly Kenai Log Cabin #10)
KEN-080	Edelmann/Petersen House (formerly Petersen Complex)
KEN-263	March House
KEN-264	Wilson House
KEN-265	Arness Cabin (located at "Fort Kenay")
KEN-266	Three Scandinavians' Cabin (located at "Fort Kenay")
KEN-267	Cabin #3 (located at "Fort Kenay")
KEN-268	Miller Cabin (located at "Fort Kenay")
KEN-269	Kenai National Moose Range Headquarters/Kenai National Wildlife Refuge Headquarters/Old Refuge Headquarters
KEN-270	Office at Old Refuge Headquarters
KEN-271	Primary Quarters at Old Refuge Headquarters
KEN-272	Quarters at Old Refuge Headquarters
KEN-273	Ray Gee House
KEN-274	Theater/restaurant/pharmacy building
KEN-325	Russian Orthodox Cemetery

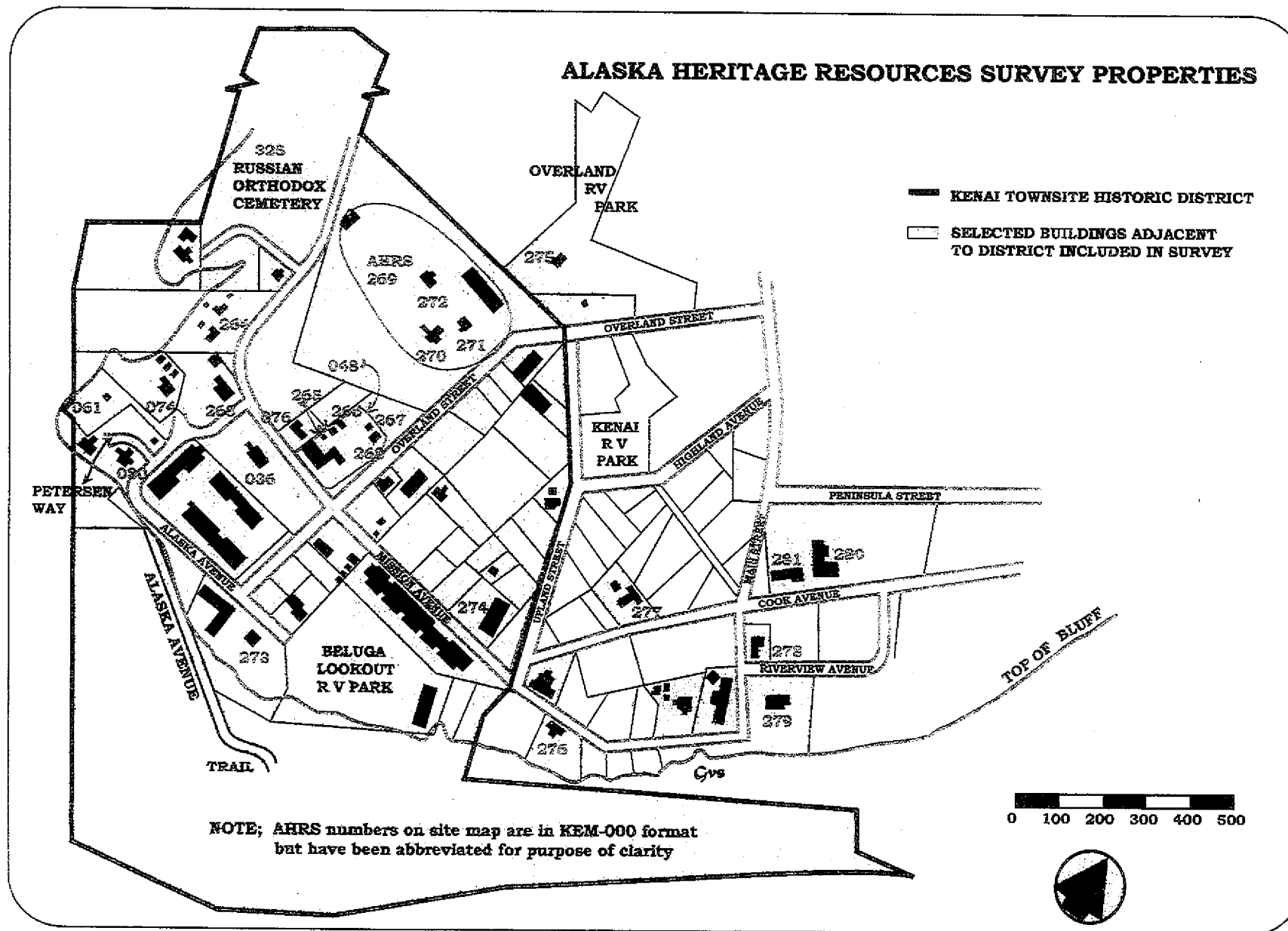
Table 9. Buildings Within the Kenai Townsite Historic District.

AHRS	
<u>Number</u>	<u>Property Name</u>
KEN-275	Lindgren/Jones House
KEN-276	Showalter House
KEN-277	Interlocked Moose Horn Club/Tomrdle House
KEN-278	Dolchok/Juliussen Cabin
KEN-279	Hermansen/Miller House
KEN-280	Kenai Firehall & Jail/Fine Arts Center
KEN-281	Kenai Civic League Building/Kenai Cooperative Preschool

Table 10. Selected Buildings Adjacent to the Kenai Townsite Historic District.

AHRS		
<u>Number</u>	<u>Property</u>	<u>Explanation</u>
KEN-069	Kenai Log Cabin #1	No longer extant where reported.
KEN-070	Kenai Log Cabin #2	Location information was not definitive. This building is probably Keen-Eyed Joe's Bunkhouse. The bunkhouse still stands although in poor condition. The building was not surveyed as it is neither within nor adjacent to the Kenai Townsite Historic District.
KEN-071	Kenai Log Cabin #3	No longer extant where reported.
KEN-072	Kenai Log Cabin #4	No longer extant where reported.
KEN-073	Kenai Log Cabin #5	Old Kenai Mission Building. No longer extant where reported.
KEN-075	Kenai Log Cabin #7	No longer extant where reported.

Table 11. Other properties listed on the AHRS within or adjacent to the Kenai Townsite Historic District.



KENAI TOWNSITE HISTORIC DISTRICT SURVEY 6/96

Figure 83. Alaska Heritage Resources Survey Properties.

SECTION VIII: BIBLIOGRAPHY

SECTION VIII: BIBLIOGRAPHY

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